

**TOWN OF ALGOMA
WINNEBAGO COUNTY, WISCONSIN
PLANNING COMMISSION MEETING
15 N. Oakwood Road, Oshkosh, WI 54904
Wednesday, October 9, 2024 at 6:00 pm.**

AGENDA

The Commission may discuss and act on the following:

1. **Call to Order.**
2. **Roll Call.**
3. **Discussion and possible action re:** Minutes from August 14, 2024.
4. **Discussion and possible action re:** Certified Survey Map by petitioner Troy Hewitt, Robert E. Lee & Assoc, Inc, on behalf of OSMS Real Estate to combine parcels 002141406, 0021415, 0021416, and 002025924 into one parcel.
5. **Discussion and possible action re:** Conditional Use Permit by petitioner Richard Jordan for a light industrial major home occupation at 161 Kirkwood Drive, Oshkosh, parcel 002024017, in the R-1 Rural Residential District.
6. **Discussion and possible action re:** Certified Survey Map by petitioner Peter Schwabe, Inc, on behalf of Killian Management Services to divide two parcels, 00200910101 and 002009101, into three parcels.
7. **Discussion and possible action re:** Site Plan by petitioner Peter Schwabe, Inc, on behalf of Killian Management Services for a Tommy's Express Car Wash at 2100 Omro Road, Oshkosh, parcel 00200910101.
8. **Adjourn.**

It is possible that members of other governmental bodies of the municipality may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Town Hall Office at 920-235-3789.

Posted: October 4, 2024

Posted at: Town of Algoma Hall, www.townofalgoma.org, and Service Oil Co., Inc.

**TOWN OF ALGOMA
WINNEBAGO COUNTY, WISCONSIN
PLANNING COMMISSION MINUTES**

August 14, 2024

Algoma Town Hall, 15 N. Oakwood Road, Oshkosh, WI 54904

The Planning Commission meeting was called to order by Chairman Martin at 6:00 p.m.

The following members were present: Mark Thompson, Dan Martin, Bill Van Aacken, Linda Kollman, Mike Skoglund, and Kyle Kehoe.

The following member was unexcused: Ethan Firgens.

The following staff member was present: Administrator Maggie Mahoney.

On a motion by Commissioner Kollman and seconded by Commissioner Van Aacken, passed on a unanimous voice vote, the minutes from the July 10, 2024 meeting were approved.

Administrator Mahoney provided an overview of agenda Item 4, Certified Survey Map by petitioner Darryl Lehman, Martinson & Eisele, on behalf of Robert K. Balda to combine parcels 002001310 and 002001301 into one parcel. The petitioner was in attendance.

Commissioner Thompson noted that there can only be one principal structure on a residential lot and suggested a condition be placed to remove one of the existing homes. Petitioner Darryl Lehman confirmed that the plan is to remove both existing homes and build one new home on the combined parcels as soon as possible. There was no further discussion.

A motion was made by Commissioner Kollman and a second by Commissioner Kehoe, for the Planning Commission to recommend approval by the Town Board for approval of Certified Survey Map by petitioner Darryl Lehman, Martinson & Eisele, on behalf of Robert K. Balda, to combine parcels 002001310 and 002001301 into one parcel with the condition of removal of one of the two existing principal structures within one year. A voice vote was taken and unanimously approved the motion 6-0.

On a motion by Commissioner Thompson and seconded by Commissioner Kehoe, passed on a unanimous voice vote, the Planning Commission adjourned at 6:07 p.m.

Respectfully submitted,
Maggie Mahoney, Administrator



AGENDA MEMORANDUM

To: Planning Commission Chairperson and Members

From: Maggie Mahoney, Administrator

Date: October 9, 2024

RE: **ITEM 4: Discussion and Possible Action re:** Certified Survey Map by petitioner Troy Hewitt, Robert E. Lee & Assoc, Inc, on behalf of OSMS Real Estate to combine parcels 002141406, 0021415, 0021416, and 002025924 into one parcel.

GENERAL INFORMATION:

Petitioner: Troy Hewitt
Robert E. Lee & Assoc, Inc
1250 Centennial Centre Blvd
Hobart, WI 54155

Owner: OSMS Real Estate
2223 Lime Kiln Rd, Ste 1
Green Bay, WI 54311

Past Planning Discussion(s): On April 10, 2024 the Planning Commission held a public hearing on creating the Tax Increment Finance District and approved a resolution for the project plan and boundary establishment. In the project plan these parcels were identified as part of the TID and will be serviced by the water line project.

Action Requested: Petitioner is requesting approval of the Certified Survey Map on behalf of the property owner to combine four parcels (002141406, 0021415, 0021416, and 002025924), into one parcel.

Property Location and Type:

The subject properties are adjacent, owned by the same property owner, and are all zoned B-2 Community Business. The lots are currently undeveloped. The property owner wants to combine the four parcels to construct a new OSMS facility on the one, newly created parcel.

These parcels are not in an area of Town where a boundary agreement is currently in effect.

ANALYSIS:

The proposed CSM, as stated above, would combine four existing adjacent parcels into one parcel. All parcels are currently zoned B-2 Community Business Zoning District and subject to, and meet, the dimensional standards defined for that district in Chapter 23: Town/County Zoning of the Winnebago County Municipal Code, Exhibit 8-2 as follows:

Exhibit 8-2 Dimensional standards by zoning district - continued

B-2 Community business district

Lot size, minimum: 15,000 sq. ft. for a sewerred lot; 30,000 sq. ft. for an unsewerred lot [1]

Lot size, maximum: no limitation

Lot width, minimum: 85 ft. for a sewerred lot; 100 ft. for an unsewerred lot

Road frontage, minimum: 75 ft. for a sewerred lot; 100 ft. for an unsewerred lot

Floor area ratio, maximum: no limitation

Separation between detached buildings, minimum: 10 ft.

Yard setback: [2,3]

Street yard, minimum: 30 ft.

Side yard, minimum: 7 ft. on one side and 10 ft. on the other for a principal building; 3 ft. for a detached accessory building or 5 ft. from an alley

Rear yard minimum: 25 ft. for a principal building; 3 feet for a detached accessory building or 5 ft. from an alley

Building height:

Principal building, maximum: 35 ft.

Accessory building, maximum: 18 ft.

Floor area:

Principal building, minimum: no limitation

Accessory buildings, maximum: no limitation

Number of detached accessory buildings, maximum: no limitation

Notes:

1. The minimum size of the lot may actually be larger due to environmental constraints and land required for on-site infrastructure requirements such as stormwater management and on-site sewage disposal systems.
2. Some land uses that may be allowed in this zoning district may have more restrictive yard setback requirements than what is listed. Refer to the development standards in division 9 of this article.
3. Lots abutting more restrictive district boundaries shall provide side and rear yards not less than those required in the more restrictive abutting districts. The street yards on the less restrictive district shall be modified for a distance of not more than 75 feet from the district boundary line so as to equal the average of the street yards required in both districts.

The proposed lot meets the lot dimensional requirements.

RECOMMENDED ACTION:

Staff recommends approval of the CSM as presented. Should the Planning Commission agree, the following motion may be made:

“Motion for the Planning Commission to recommend approval to the Town Board of the Certified Survey Map by petitioner Troy Hewitt, Robert E. Lee & Assoc, Inc, on behalf of OSMS Real Estate to combine parcels 002141406, 0021415, 0021416, and 002025924 into one parcel as presented.”

ATTACHMENTS:

1. GIS map of parcels
2. Town Application
3. Certified Survey Map of proposed lot

OSMS CSM to combine 4 parcels 10/9/24

N






Town of Algoma
15 N. Oakwood Road
Oshkosh, WI 54904
(920) 235-3789

Visit us at www.townofalgoma.org
M-Th 9:00-5:00 F 9:00-1:00

Site Plan Review/Plan Commission General Application

APPLICANT INFORMATION

Petitioner: Troy Hewitt - Robert E. Lee & Assoc. Inc. Date: 9/9/2024
Petitioner's Address: 1250 Centennial Centre Blvd City: Hobart State: WI Zip: 54155
Telephone #: (920) 662-9641 Fax: () _____ Other Contact # or Email: thewitt@releeinc.com
Status of Petitioner (Please Check): Owner Representative Tenant Prospective Buyer
Petitioner's Signature (required):  Date: 9/9/2024

OWNER INFORMATION

Owner(s): OSMS Real Estate Date: 9/9/2024
Owner(s) Information: 2223 Lime Kiln Rd, STE 1 City: Green Bay State: WI Zip: 54311
Telephone #: (920) 965-9520 Fax: () _____ Other Contact # or Email: _____
Ownership Status (Please Check): Individual Trust Partnership Corporation
Property Owner Consent (required)

By signature hereon, I/We acknowledge that Town officials and/or employees may, in the performance of their functions, enter upon the property to inspect or garner other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Town of Algoma for incomplete submissions or other administrative reasons.

Property Owner's Signature:  Date: 09/11/2024

SITE INFORMATION

Address/Location of Proposed Project: S. Oakwood Rd.
Current Use of Property: VACANT Zoning: B-2 Community Bus.
Land Uses Surrounding Your Site: North: Residential
South: Hospital
East: Residential
West: Residential

Projected Timeline: _____

Project Description: Combine the existing parcels to create one overall parcel. OSMS is planning a clinic on this site.

Note: The Town of Algoma or a duly appointed official maintain the right to cancel this agreement if the applicant has been deemed in violation of this agreement or Town of Algoma Municipal Code. No refund will be provided.



Town of Algoma
15 N. Oakwood Road
Oshkosh, WI 54904
(920) 235-3789

Visit us at www.townofalgoma.org
M-Th 9:00-5:00 F 9:00-1:00

Site Plan Review/Plan Commission General Application Continued

SITE INFORMATION CONTINUED

Development Characteristics Gross Acreage/ Square Feet: 1.792 Acres / 78,046 Square Feet

Development Area and Percentage: _____

of Employees/#of Residential Units: _____

of Proposed Parking Space: _____

Traffic Count Projections (attach documentation): _____

Percent Impervious (attach documentation): _____

Description of Required Landscaping (attach landscape plan): _____

Additional Information: _____

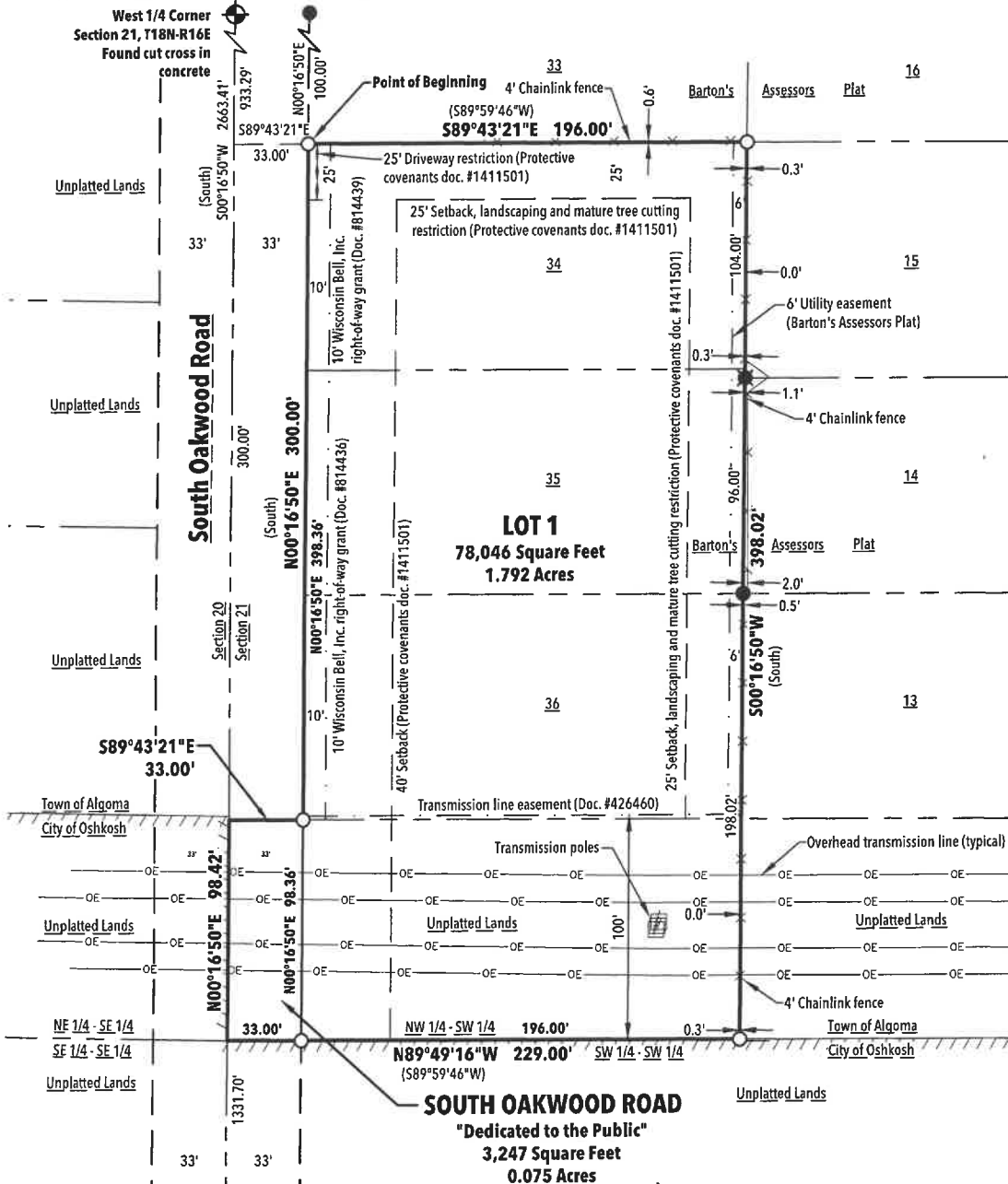
OFFICE USE ONLY

Received By: Erin Sawicki Date: 9/13/24 Fee: \$200.00 Paid: Yes No

Note: The Town of Algoma or a duly appointed official maintain the right to cancel this agreement if the applicant has been deemed in violation of this agreement or Town of Algoma Municipal Code. No refund will be provided.

PRELIMINARY CERTIFIED SURVEY MAP

PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 AND ALL OF LOTS 34, 35 AND 36,
BARTON'S ASSESSORS PLAT, FILE 1 OF PLATS, PAGE 177, DOCUMENT NUMBER 589527,
WINNEBAGO COUNTY RECORDS, ALL LOCATED IN SECTION 21, TOWNSHIP 18 NORTH,
RANGE 16 EAST, IN THE TOWN OF ALGOMA, WINNEBAGO COUNTY, WISCONSIN



LEGEND:

- Set 1" x 18" Iron Pipe w/ ID Cap Weighing 1.38 lbs./lin. ft.
- Existing 3/4" Iron Rod
- Existing 1" Iron Pipe
- ⊕ County PLSS Monument
- (South) Record Bearing
- //// Municipal Boundary



7/10/2024



Bearings are referenced to the Winnebago County Coordinate System. The west line of the Southwest 1/4 of Section 21, T18N-R16E bears S00°16'50"W.

REL Robert E. Lee
& Associates, Inc.

1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

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SHEET 1 OF 4

CERTIFIED SURVEY MAP

PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 AND ALL OF LOTS 34, 35 AND 36, BARTON'S ASSESSORS PLAT, FILE 1 OF PLATS, PAGE 177, DOCUMENT NUMBER 589527, WINNEBAGO COUNTY RECORDS, ALL LOCATED IN SECTION 21, TOWNSHIP 18 NORTH, RANGE 16 EAST, IN THE TOWN OF ALGOMA, WINNEBAGO COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, Troy E. Hewitt, Professional Land Surveyor, do hereby certify that by the order and under the direction of the owners listed hereon, I have surveyed, divided and mapped a parcel of land being part of the Northwest 1/4 of the Southwest 1/4 and all of Lots 34, 35 and 36, Barton's Assessors Plat, File 1 of Plats, Page 177, Document Number 589527, Winnebago County Records, all located in Section 21, Township 18 North, Range 16 East, in the Town of Algoma, Winnebago County, Wisconsin, more fully described as follows:

Commencing at the West 1/4 of said Section 21; thence $500^{\circ}16'50''W$, 933.29 feet on the west line of said Southwest 1/4 to the westerly extension of the north line of said Lot 34; thence $S89^{\circ}43'21''E$, 33.00 feet on said westerly extension to the east right of way of South Oakwood Road, the POINT OF BEGINNING; thence continuing $S89^{\circ}43'21''E$, 196.00 feet on said north line to the northeast corner of said Lot 34; thence $S00^{\circ}16'50''W$, 398.02 feet on the east line of said Lot 34 and continuing on the east line of said Lots 35, 36 and the southerly extension of said east line to the south line of said Northwest 1/4 of the Southwest 1/4; thence $N89^{\circ}49'16''W$, 229.00 feet on said south line to the west line of said Southwest 1/4; thence $N00^{\circ}16'50''E$, 98.42 feet on said west line to the westerly extension of the south line of said Lot 36; thence $S89^{\circ}43'21''E$, 33.00 feet on said westerly extension to said east right of way; thence $N00^{\circ}16'50''E$, 300.00 feet on said east right of way to the Point of Beginning.

Said parcel contains 81,293 square feet or 1.866 acres of land more or less subject to any and all easements and restrictions of record.

That the within map is a true and correct representation of the exterior boundaries of the land surveyed and the division of that land and that I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes in the surveying, dividing and mapping of the same.

Dated this 12 day of July, 2024.

Troy E. Hewitt PLS #2831
ROBERT E. LEE & ASSOCIATES, INC.



NOTES:

1. This CSM is all of Tax Parcel Numbers: 002141406, 0021415, 0021416 & 002025924
2. The property owner of record is: OSMS Real Estate LLC
3. This CSM is wholly contained within the property described in the following recorded instrument: Document Number 1906036
4. All building setbacks and other land use requirements should be verified by the Town of Algoma and the Winnebago County Planning and Zoning Department prior to any construction or other land use activity.


CERTIFIED SURVEY MAP

PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 AND ALL OF LOTS 34, 35 AND 36, BARTON'S ASSESSORS PLAT, FILE 1 OF PLATS, PAGE 177, DOCUMENT NUMBER 589527, WINNEBAGO COUNTY RECORDS, ALL LOCATED IN SECTION 21, TOWNSHIP 18 NORTH, RANGE 16 EAST, IN THE TOWN OF ALGOMA, WINNEBAGO COUNTY, WISCONSIN

OWNER'S CERTIFICATE:

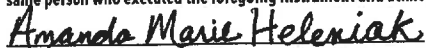
As owners, we do hereby certify that we caused the land described on this Certified Survey Map to be surveyed, mapped and dedicated as represented on this map. We also do further certify that this Certified Survey Map is required by s-236.34 to be submitted to the following for approval or objection:

- 1) TOWN OF ALGOMA
- 2) WINNEBAGO COUNTY

 09/11/2024
Date
OSMS Real Estate, LLC
Joel E. Hein, MD
Print Name and Title

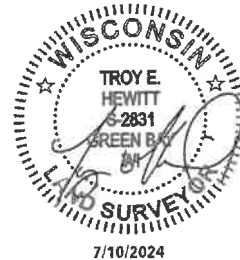
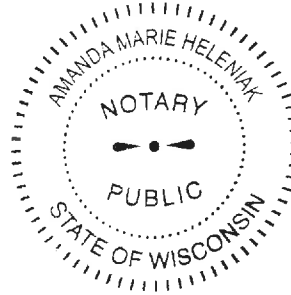
STATE OF WISCONSIN)
Brown COUNTY) SS

Personally came before me this 11th day of September, 2024, the above named Joel E. Hein, MD, to me known to be the same person who executed the foregoing instrument and acknowledged the same.


Notary Public, State of Wisconsin

(print name) Amanda Marie Heleniak

My commission expires: 4/6/2025



CERTIFIED SURVEY MAP

PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 AND ALL OF LOTS 34, 35 AND 36, BARTON'S ASSISSORS PLAT, FILE 1 OF PLATS, PAGE 177, DOCUMENT NUMBER 589527, WINNEBAGO COUNTY RECORDS, ALL LOCATED IN SECTION 21, TOWNSHIP 18 NORTH, RANGE 16 EAST, IN THE TOWN OF ALGOMA, WINNEBAGO COUNTY, WISCONSIN

WINNEBAGO COUNTY PLANNING AND ZONING COMMITTEE:

Pursuant to the land subdivision regulations of the county of Winnebago, Wisconsin, all the requirements for approval have been fulfilled. This minor subdivision was approved by the Winnebago County Planning and Zoning Committee on this _____ day of _____, 2024.

John Hinz, Chairman

TOWN OF ALGOMA APPROVAL:

Approved by the Town Board of Algoma this _____ day of _____, 2024.

Joel Rasmussen, Town Chair

Katherine Reinbold, Town Clerk

TOWN OF ALGOMA TREASURER'S CERTIFICATE:

As duly elected or appointed Town Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Certified Survey Map as of the date listed below.

Katherine Reinbold Date
Town Treasurer

WINNEBAGO COUNTY TREASURER'S CERTIFICATE:

As duly elected or appointed County Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Certified Survey Map as of the date listed below.

Amber L. Hoppa Date
County Treasurer



7/10/2024

REL Robert E. Lee
& Associates, Inc.

1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com



AGENDA MEMORANDUM

To: Planning Commission Chairperson and Members

From: Maggie Mahoney, Administrator

Date: October 9, 2024

RE: **ITEM 5: Discussion and Possible Action re:** Petitioner Richard Jordan is requesting a Conditional Use Permit for a major home occupation at 161 Kirkwood Drive, Oshkosh, parcel 002024017, in the R-1 Rural Residential District.

GENERAL INFORMATION:

Owner/Petitioner: Richard Jordan
161 Kirkwood Dr.
Oshkosh, WI 54904

Past Planning Discussion(s): None

Action Requested: Petitioner Richard Jordan is requesting a Conditional Use Permit for a major home occupation at 161 Kirkwood Drive, Oshkosh, parcel 002024017, in the R-1 Rural Residential District.

Conditional Use Permit Explanation and Process:

Although each zoning district is primarily intended for a predominant type of land use, there are a number of uses that may be appropriate under certain conditions. These are referred to as "conditional uses".

The Town Planning Commission may render a recommendation to the Town Board and the Town Board may render a recommendation to the County Planning and Zoning Committee based on the decision criteria provided to either 1) approve the conditional use; 2) approve the conditional use with conditions, or 3) deny the conditional use. Such decision shall be supported by written findings.

If the decision is to approve the conditional use with conditions, the Town Board may also submit conditions of approval. If the Town Board does not submit a decision supported by written findings to the committee prior to the public hearing, it shall be deemed to have consented to whatever action the committee may take.

A public hearing for this conditional use permit request will be held by County Planning and Zoning on Tuesday, October 22, 2024 ~6:30pm.

Property Location and Type:

The subject property is zoned *R-1 Rural Residential and serves as the property owner’s home. The adjacent lots are also zoned residential. Future land use identifies this and the surrounding parcels as remaining residential.

*R-1 Rural Residential district: This district is intended to accommodate single-family residences on scattered lots to foster and maintain the rural character and lifestyle of the surrounding area. Lots are generally served by on-site wastewater treatment systems.

This parcel abuts the City of Oshkosh but is not in an area of Town where a boundary agreement is currently in effect.

Conditional Use Request:

The property owner owns a business, Jordan Hydraulics, LLC, that is looking to downsize and relocate his business to his home, with work being performed in his garage. The business activity is working on hydraulic and pneumatic cylinders. He opens the cylinders, removes the piston and gland, cleans and polishes, reseals, reassembles and tests with air pressure. Uses electric and pneumatic power tools, torch, bench grinder, drill press, welder, and lathe (but may not use lathe at home due to size constraints). No employees other than himself. Averages 1-2 customers per weekday and performs work between the hours of 8:30am-3:00pm. See attached letter and email from the property owner.

A major home occupation is allowable by conditional use permit per Exhibit 8-1 of Ch 23 Town/County Zoning for use 17.25.

Exhibit 8-1 Land use matrix – continued

16 Solid Waste	Review	Special Standards	Base Zoning District													
			A-1	A-2	R-1	R-2	R-3	R-4	R-8	B-1	B-2	B-3	M-1	I-1	I-2	
16.01 Composting facility	ZP,SP,PO	23.8-431	P	P	-	-	-	-	-	-	-	-	-	-	P	P
16.02 Recycling center	ZP,SP,PO	23.8-432	-	-	-	-	-	-	-	-	-	-	-	-	P	P
16.03 Solid waste landfill	ZP,SP,PO	23.8-433	-	C	-	-	-	-	-	-	-	-	-	-	C	C
16.04 Solid waste transfer station	ZP,SP,PO	23.8-434	-	C	-	-	-	-	-	-	-	-	-	-	P	P
17 Accessory Uses																
17.25 Home occupation, major [8]	ZP,SP,PO	23.8-465	-	C	C	C	C	C	C	-	C	C	C	C	-	-
17.26 Home occupation, minor [8]	ZP	23.8-466	P	P	P	P	P	P	P	P	P	P	P	P	-	-

P=permitted use in the district; C=use permitted with conditional use permit

ANALYSIS:

The following is the staff review of criteria to consider the proposed use per Ch 23 Town/County Zoning:

1. **Size of the parcel on which the proposed use will occur.**
.46 acres/20,038 sq ft; work will be contained to within the home's existing garage.
2. **Presence of and compatibility with other uses on the subject property.**
This a rural residential property and there are no other uses other than residential in the immediate area. Future land use for this parcel is Single Family Residential/Low Density Residential. As described, the activities would be limited to daytime hours in the garage, not to be more of a nuisance than typical neighborhood activities. The current location of the business is near residential homes. *See attached photos showing the proximity to homes, tools and materials of current business location.*
3. **Location of the proposed use on the subject property (i.e. proximity of the proposed use to other existing or potential land uses).**
Work will be performed in the garage with the door open in the summer. Closes door when making more noise. Business equipment and materials stored in garage as well and are visible when door is open.
4. **Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.** Impact on traffic is minimal and typical of traffic in a residential neighborhood. Averages 1-2 customers per day. Receives UPS deliveries twice a week. Traffic would include cars, SUVs, pick-ups and occasionally with a trailer.
5. **Suitability of the subject property for the proposed use.** Property is suitable for the nature and location of the work being performed.
6. **Effects of the proposed use on the natural environment.** Minimal to no effect of the natural environment beyond typical residential activities.
7. **Effects of the proposed use on surrounding properties, including operational considerations related to hours of operation and creation of potential nuisances.** Effect on surrounding properties minimal. Work will be performed with garage door closed when making noise. No odors or smoke/gas are produced.
8. **Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.** No effect.
9. **Other Factors:** The proposed use meets the criteria for a major home occupation per Ch 23 Town/County Zoning Article 8, Land Use 23.8-465 as follows:
 - a. **Validity of use:** The individual primarily responsible for operation of the major home occupation shall reside in a dwelling unit on the parcel.
 - b. **Location and space limitation:** The major home occupation will occur within an accessory building located on the lot, which is the garage. The property owner is not

proposing construction of another accessory to accommodate both of these uses. Under this standard there is a requirement that at least one bay of the garage be reserved to park a full-sized motor vehicle. This standard is not met as the proposed use will require use of the entire garage; however, the property does have capacity in the driveway for parking vehicles.

- c. **Exterior character of building:** The exterior character of the garage will not be altered to accommodate the conditional use.
- d. **Storage of materials:** Storage of materials will be inside the garage and screened from adjoining residentially-zoned properties.
- e. **Limitation on number of on-site workers.** The business owner is the worker and resides in the dwelling unit.
- f. **Retail sales.** Items produced on site may be sold at retail.
- g. **Limitations on business vehicles.** The use does not involved use of more than one commercial vehicle with the home occupation.
- h. **Nuisance.** The proposed use does not create smoke, odor, glare, dust, vibration, fire hazard, small electrical interference or any other nuisance not normally associated with typical residential use in the zoning district. Some noise is created but is in short durations, during business hours and can be contained with the door closed.
- i. **Prohibited uses.** The proposed use is not prohibited use.
- j. **Special exception for an operator with a disability.** Not applicable.
- k. **Multiple home occupations.** Not applicable.

Based on the criteria above, Staff determines that the proposed use will have a minimal impact on the surrounding properties and to neighborhood activities. In order to ensure neighbors are not affected, the Planning Commission could recommend a time limit be placed on the conditional use permit. In this case one year after date of approval, and he could apply annually to renew the permit.

At the time of this memo the Town has not received materials from County Planning and Zoning. I have included a copy of Mr. Jordan's letter to the County for his application, as well as the information they provided to him for the public hearing (which states Oct 29 but has since been changed to Oct 22).

RECOMMENDED ACTION:

Staff recommends the following motion:

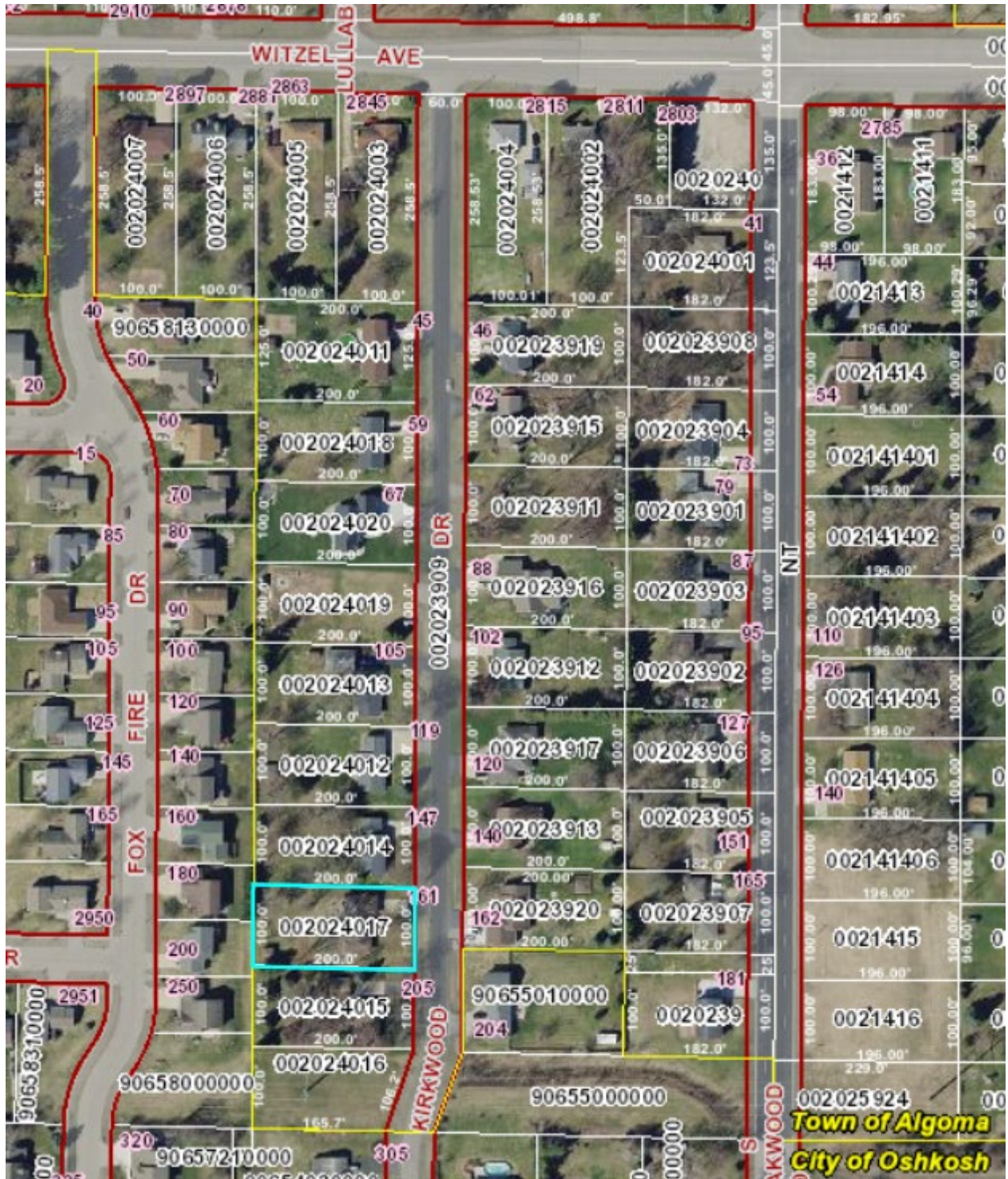
“Motion to approve recommendation by the Planning Commission to the Town Board to approve the Conditional Use Permit for a major home occupation to Richard Jordan at 161 Kirkwood Drive, Oshkosh, parcel 002024017, in the R-1 Rural Residential District with the condition that the permit be valid for one year after date of permit approval.”

ATTACHMENTS:

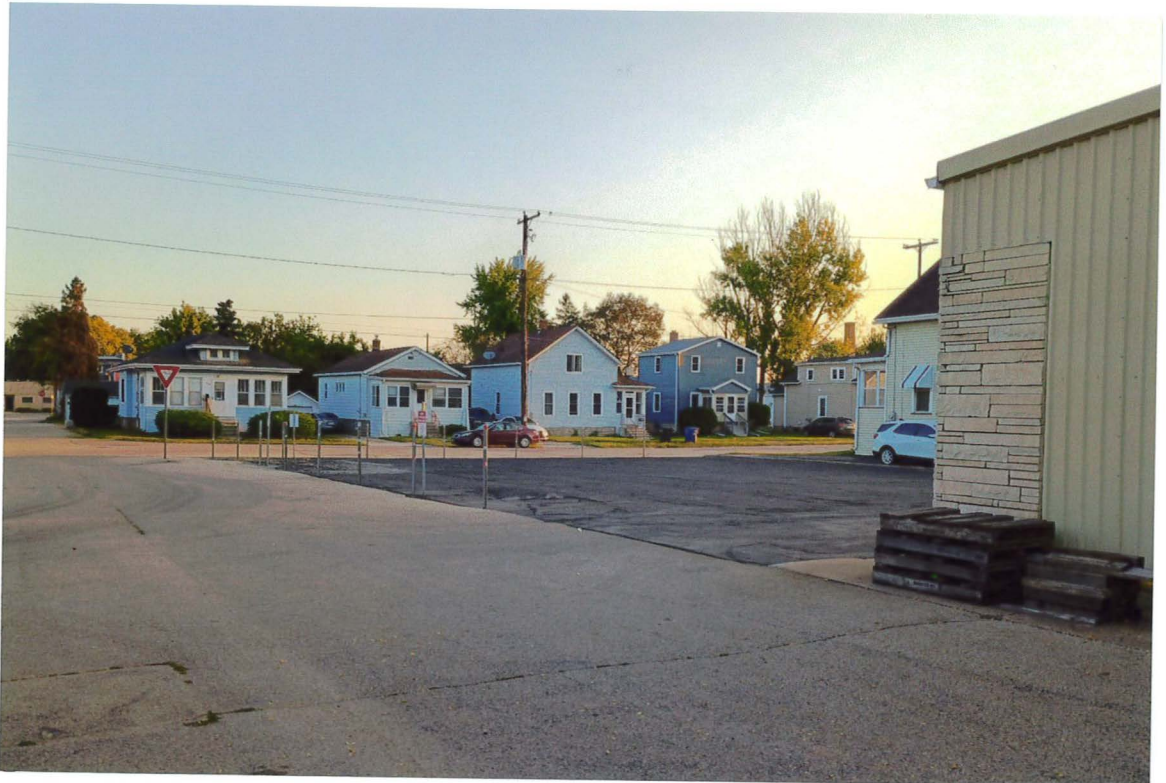
- 1. GIS map of parcels
- 2. Letter from property owner

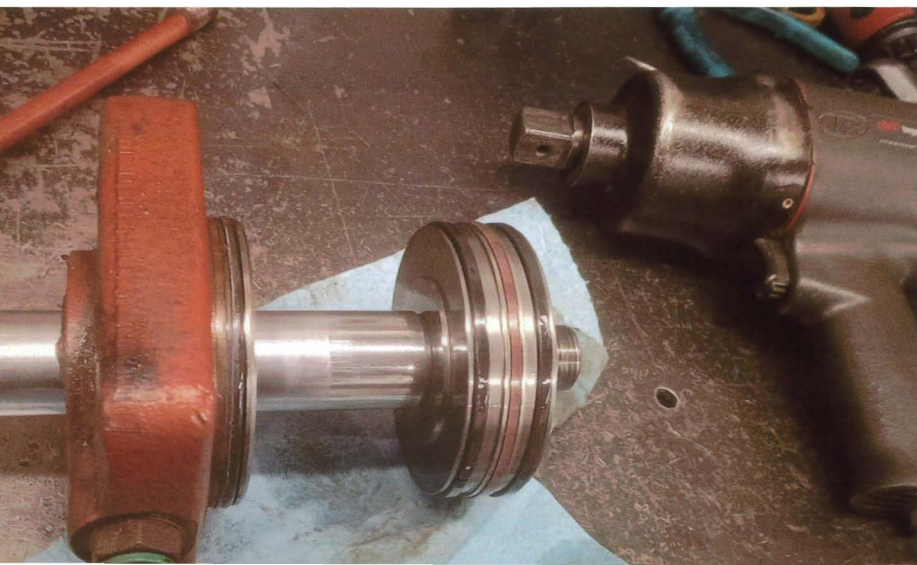
3. Photos of current business location, equipment and materials
4. Email on business activity
5. Town Application
6. County Planning and Zoning materials to-date: letter from property owner and public hearing info

161 Kirkwood Drive in Town of Algoma



Current business location at 541 W. 10th Ave, Oshkosh









Hours and noise

From Richard Jordan <jordanhydraulics541@gmail.com>

Date Tue 2024-09-24 9:27 AM

To Maggie Mahoney <townadmin@townofalgoma.org>

Hey Maggie,

1. The work will only be performed in the garage.
2. I like to work with the door open in the summer, but I do close it when I know I'm going to be making a bit of noise.
3.
 - a. I average 1-2 customers per day and UPS twice a week.
 - b. Cars, SUV's, Pickup Trucks, and sometimes people bring them in on a trailer.
 - c. My hours are 8:30 am to 3:00 pm.
4. There are no odors or smoke/gas produced from the work I do.
5. Everything will be in the garage and will be visible when working with the garage door open.

Thanks

Rich

----- Forwarded message -----

From: **Maggie Mahoney** <townadmin@townofalgoma.org>

Date: Mon, Sep 23, 2024, 3:18 PM

Subject: Re: Hours and noise

To: Richard Jordan <jordanhydraulics541@gmail.com>

Hi Richard,

Thank you for this information. Please also answer the following questions regarding your the business:

1. Will the work being performed be done in any other location on your property other than your garage? If so, please specify where. For example, in your basement or in driveway.
2. When work is being performed is a door closed? Is the noise contained?
3. Please comment on the amount of traffic and parking will be generated.
 - a. How many patrons or deliveries will you have?
 - b. What types of vehicles will be coming/going from your home?
 - c. At what times will there be activity?
4. Are there any odors or smoke/gases that are produced?
5. Where are materials being stored? Are items being stored within view of your neighbors?

Thank you! Maggie

From: Richard Jordan <jordanhydraulics541@gmail.com>

Sent: Monday, September 23, 2024 2:56 PM

To: Maggie Mahoney <townadmin@townofalgoma.org>

Subject: Hours and noise

Maggie,

In addition to the information I gave you previously, my business hours are 8:30am - 3:00pm. The noise level is pretty low. I use air tools which are probably the most noise I make, but the duration that I use them is very short. Usually under a minute at a time. The dogs in the neighborhood make more noise then I do.

Anything else you need to know just let me know.

Thanks

Richard Jordan



Town of Algoma
15 N. Oakwood Road
Oshkosh, WI 54904
(920) 235-3789

Visit us at www.townofalgoma.org

M-Th 9:00-5:00 F 9:00-1:00

Site Plan Review/Plan Commission General Application

APPLICANT INFORMATION

Petitioner: Richard Jordan Date: 9-19-24
 Petitioner's Address: 161 Kirkwood Dr City: Oshkosh State: WI Zip: 54904
 Telephone #: (920) 379-4540 Fax: () _____ Other Contact # or Email: jordanhydraulics541@gmail.com
 Status of Petitioner (Please Check): Owner Representative Tenant Prospective Buyer
 Petitioner's Signature (required): Richard Jordan Date: 9-19-24

OWNER INFORMATION

Owner(s): Richard Jordan Date: 9-19-24
 Owner(s) Information: 161 Kirkwood Dr City: Oshkosh State: WI Zip: 54904
 Telephone #: (920) 379-4540 Fax: () _____ Other Contact # or Email: jordanhydraulics541@gmail.com
 Ownership Status (Please Check): Individual Trust Partnership Corporation
Property Owner Consent (required)

By signature hereon, I/We acknowledge that Town officials and/or employees may, in the performance of their functions, enter upon the property to inspect or garner other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Town of Algoma for incomplete submissions or other administrative reasons.

Property Owner's Signature: Richard Jordan Date: 9-19-24

SITE INFORMATION

Address/Location of Proposed Project: 161 Kirkwood Dr Oshkosh, WI 54904
 Current Use of Property: _____ Zoning: Residential
 Land Uses Surrounding Your Site: North: 1128.5 ft
 South: 100 ft
 East: 642 ft
 West: 200 ft

Projected Timeline: If I am able to get out of my lease, (3 years left) I'll be moved
 Project Description: into 161 Kirkwood dr within 30 days.

Note: The Town of Algoma or a duly appointed official maintain the right to cancel this agreement if the applicant has been deemed in violation of this agreement or Town of Algoma Municipal Code. No refund will be provided.



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Visit us at www.townofalgoma.org

M-Th 9:00-5:00 F 9:00-1:00

Site Plan Review/Plan Commission General Application Continued

SITE INFORMATION CONTINUED

Development Characteristics Gross Acreage/ Square Feet: 0.460 acres

Development Area and Percentage: _____

of Employees/#of Residential Units: 0

of Proposed Parking Space: One

Traffic Count Projections (attach documentation): 2 customers/day

Percent Impervious (attach documentation): _____

Description of Required Landscaping (attach landscape plan): N/A

Additional Information: _____

OFFICE USE ONLY

Received By: Emm Sawicki Date: 9/19/2024 Fee: \$350.00 Paid: Yes No

Note: The Town of Algoma or a duly appointed official maintain the right to cancel this agreement if the applicant has been deemed in violation of this agreement or Town of Algoma Municipal Code. No refund will be provided.



JORDAN
HYDRAULICS L.L.C.
HYDRAULIC AND PNEUMATIC
CYLINDER REPAIR

Town of Algoma / Winnebago County Zoning

My name is Richard Jordan and I am the owner of Jordan Hydraulics LLC. I repair hydraulic and pneumatic cylinders. My business currently resides on a lease at 541 W. 10th Ave in Oshkosh. I don't have any employees, and I am looking to downsize my business into my garage at home, (161 Kirkwood Dr) if I can get out of my lease. But before I can try to get out from under my lease, I need to find a place to move it to first. So, with this letter I am seeking approval from the Town of Algoma and Winnebago County Zoning to do so.

The current location of my business is in a residential area, and I haven't had any issues with my neighbors here. I only work on cylinders - I do not work on anyone's equipment. I'm not even insured to do so. My customers remove the cylinders from their equipment and bring them in for me to repair. I open the cylinders, remove the piston and gland, clean and polish everything, reseal, reassemble and test with air pressure.

I average 1-2 customers per weekday, so traffic is very low. I use electric and pneumatic power tools, torch, bench grinder, drill press, welder, lathe (but I don't think I can make that fit in my garage with everything else).

If you have any questions, you can call me at (920) 379-4540

Thanks,

Richard Jordan, Owner

Town of Algoma,

My name is Richard Jordan and I am the owner of Jordan Hydraulics LLC. I repair hydraulic and pneumatic cylinders. My business currently resides on a lease at 541 W. 10th Ave. in Oshkosh. I don't have any employees, and I am looking to downsize my business into my garage at home (161 Kirkwood Dr), if I can get out of my lease. But before I can try to get out from under my lease, I need to find a place to move it to first. So, with this letter I am seeking approval from the Town of Algoma and Winnebago County Zoning for approval to do so.

The current location of my business is in a residential area and I haven't had any problems with my neighbors here. I only work on cylinders, I do not work on anyone's equipment. I'm not even insured to work on their equipment. My customers have to remove the cylinders and bring them in for me to repair them. I open the cylinders, remove the piston and gland, clean and polish everything, reseal, reassemble and test with air pressure.

If you have any questions, you can call me at (920) 379-4540.

Thanks

Richard Jordan



9-4-24

RECEIVED
SEP 04 2024
TOWN OF ALGOMA
WINNEBAGO COUNTY, WISCONSIN

PUBLIC HEARING ITEMS –October 29, 2024

Conditional Use Permits – Planning and Zoning Committee

Please call (920) 232-3344 to set up an appointment with the Zoning Administrator prior to the cut-off date to review your application.

1. The application cut-off date is September 3, 2024. Applications will not be accepted if received after this date.
2. Contact the Town Clerk for the Town Meeting date . Inform the Town Clerk that your public hearing is scheduled for October 29, 2024 . **YOU MUST ATTEND THE TOWN MEETINGS OR YOUR APPLICATION MAY BE DENIED.**
3. Publication Dates in the Oshkosh Northwestern are: 10/15/2024 and 10/22/2024 .
4. Notification to owner, applicant (if different), and adjacent property owners (within 300 feet of subject property) will be mailed on October 11, 2024 . The mailing list is taken from the most recent tax records.
5. The Committee and Staff will view the property on October 25, 2024 . (Note you may be present but they will NOT take any testimony.)
6. PUBLIC HEARING will be held on October 29, 2024 at 6:30 pm.
YOU OR A REPRESENTATIVE MUST BE PRESENT TO ANSWER QUESTIONS.

CONDITIONAL USE PERMIT APPLICATIONS ONLY: The Planning and Zoning Committee will meet on November 8, 2024 to decide on your application. You may call the Zoning Office on the following morning for the decision. You will receive a decision letter by mail within ten (10) days of the Deliberative meeting date.

Prior to filing the application with the County contact the Town and/or City to determine if your request will comply with their land use plan. If it does not, you may need to have their land use plan amended prior to proceeding with this application.

If you are within 3 miles of the Cities of Neenah, Menasha, Oshkosh, or 1½ miles from the City of Omro or the Village of Winneconne, you will need to contact that community to determine if your request is in compliance with their land use plan. Although the city or village cannot approve or deny this request, any required survey maps may fall within their approval jurisdiction resulting in a denial of the map if the use of the property will not comply with their plan.

THIS APPLICATION MAY BE WITHDRAWN, WITH A FULL REFUND, UNTIL NOON ON THE THURSDAY PRIOR TO THE FIRST PUBLICATION DATE (SEE #4 FOR PUBLICATION DATES).

FAILURE TO CONTACT THE TOWN AND/OR CITY MAY RESULT IN A DENIAL AND THE APPLICATION FEES ARE NON-REFUNDABLE.

If you are unsure whether or not to contact someone, do so anyway to be on the safe side.



AGENDA MEMORANDUM

To: Planning Commission Chairperson and Members

From: Maggie Mahoney, Administrator

Date: October 9, 2024

RE: **ITEM 6: Discussion and Possible Action re:** Certified Survey Map by petitioner Peter Schwabe, Inc, on behalf of Killian Management Services to divide two parcels, 00200910101 and 002009101, into three parcels.

GENERAL INFORMATION:

Petitioner: Peter Schwabe, Inc.
N16W23233 Stone Ridge Dr, Ste 250
Waukesha, WI 53188

Owner: Killian Management Services
1722 Clarence Ct.
West Bend, WI 53095

Past Planning Discussion(s): None

Action Requested: Petitioner is requesting approval of the Certified Survey Map on behalf of the property owner to divide two parcels, 00200910101 and 002009101, into three parcels.

Property Location and Type:

The subject properties are adjacent, owned by the same property owner, and are zoned B-3 Regional Business District. Both lots currently meet the dimensional and access requirements for lots in this zoning district. The property owner wants to make three parcels to construct a new carwash on Lot 1, Lot 2 would be available for a new business, and retain the existing bank on Lot 3.

These parcels are not in an area of Town where a boundary agreement is currently in effect.

A site plan for a Tommy's Express Car Wash on Lot 1 has been submitted to the Town and is the next item on the agenda.

ANALYSIS:

The proposed CSM would create three parcels in the B-3 Regional Business District that would need to meet the dimensional standards defined for that district in Chapter 23: Town/County Zoning of the Winnebago County Municipal Code, Exhibit 8-2 as follows:

Exhibit 8-2 Dimensional standards by zoning district - continued

B-3 Regional business district

Lot size, minimum: 30,000 sq. ft.[1]

Lot size, maximum: none

Lot width, minimum: 100 ft.

Road frontage, minimum: 100 ft.

Floor area ratio, maximum: no limitation

Separation between detached buildings, minimum: 10 ft.

Yard setback: [2,3]

Street yard, minimum: 30 ft.

Side yard, minimum: 7 ft. on one side and 10 ft. on the other for a principal building; 3 ft. for a detached accessory building or 5 ft. from an alley

Rear yard minimum: 25 ft. for a principal building; 3 feet for a detached accessory building or 5 ft. from an alley

Building height:

Principal building, maximum: 45 ft.

Accessory building, maximum: 18 ft.

Floor area:

Principal building, minimum: none

Accessory buildings, maximum: no limitation

Number of detached accessory buildings, maximum: no limitation

Notes:

1. The minimum size of the lot may actually be larger due to environmental constraints and land required for on-site infrastructure requirements such as stormwater management and on-site sewage disposal systems.
 2. Some land uses that may be allowed in this zoning district may have more restrictive yard setback requirements than what is listed. Refer to the development standards in division 9 of this article.
 3. Lots abutting more restrictive district boundaries shall provide side and rear yards not less than those required in the more restrictive abutting districts. The street yards on the less restrictive district shall be modified for a distance of not more than 75 feet from the district boundary line so as to equal the average of the street yards required in both districts.
-

The proposed lots meet these dimensional requirements.

The site plan shows a shared driveway access to Lot 2 on East Way Drive. A cross-access easement will be created between the 3 lots to assure access to all lots and ease of traffic flow along the north and south ends of the properties (drive areas are shown on the site plan). Once legal documentation has been created it will be submitted to the Town for appropriate review and approval.

Should the proposed project/site plan not come to fruition, driveway access could easily be added to Lot 2 along East Way Drive. So, there is no risk of creating a lot without access with the proposed CSM.

RECOMMENDED ACTION:

Staff recommends approval of CSM as presented. Should the Planning Commission agree, the following motion may be made:

“Motion to recommend approval to the Town Board the Certified Survey Map by petitioner Peter Schwabe, Inc, on behalf of Killian Management Services divide two parcels, 00200910101 and 002009101, into three parcels.”

ATTACHMENTS:

1. GIS map of current parcels
2. Town Application
3. Certified Survey Map of proposed lots

2100 Omro Road current parcels 10/9/24

N





Town of Algoma
15 N. Oakwood Road
Oshkosh, WI 54904
(920) 235-3789

Visit us at www.townofalgoma.org
M-Th 9:00-5:00 F 9:00-1:00

Site Plan Review/Plan Commission General Application

APPLICANT INFORMATION

Petitioner: Peter Schwabe, Inc Date: 9/20/24
Petitioner's Address: N16W23233 Stone Ridge Dr. Suite 250 City: Waukesha State: WI Zip: 53188
Telephone #: (262) 662-5551 Fax: (262) 662-3667 Other Contact # or Email: tstepniewski@pschwabe.com
Status of Petitioner (Please Check): Owner Representative Tenant Prospective Buyer
Petitioner's Signature (required): [Signature] Date: 9/20/24

OWNER INFORMATION

Owner(s): Kilian Management Services Date: 9/20/24
Owner(s) Information: 1722 Clarence Ct. City: West Bend State: WI Zip: 53095
Telephone #: (262) 338-6111 Fax: () _____ Other Contact # or Email: kmsreceptiondesk@gmail.com
Ownership Status (Please Check): Individual Trust Partnership Corporation
Property Owner Consent (required)

By signature hereon, I/We acknowledge that Town officials and/or employees may, in the performance of their functions, enter upon the property to inspect or garner other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Town of Algoma for incomplete submissions or other administrative reasons.

Property Owner's Signature: Steven Kilian Date: 09/23/24
S:Steven Kilian (Sep 23, 2024 17:33 CDT)

SITE INFORMATION

Address/Location of Proposed Project: 2100 Omra Road, Algoma, WI
Current Use of Property: Commercial Zoning: B-3
Land Uses Surrounding Your Site: North: Residential
South: Commercial
East: Commercial
West: Commercial

Projected Timeline: Construction to start April 1st, 2025 & Completion November 1st, 2025

Project Description: Please see attached Project Description.

Note: The Town of Algoma or a duly appointed official maintain the right to cancel this agreement if the applicant has been deemed in violation of this agreement or Town of Algoma Municipal Code. No refund will be provided.



Town of Algoma
15 N. Oakwood Road
Oshkosh, WI 54904
(920) 235-3789

Visit us at www.townofalgoma.org
M-Th 9:00-5:00 F 9:00-1:00

Site Plan Review/Plan Commission General Application Continued

SITE INFORMATION CONTINUED

Development Characteristics Gross Acreage/ Square Feet: 58,892 s.f. (1.352 Acres)

Development Area and Percentage: 58,892 s.f. (1.352 acres)

of Employees/#of Residential Units: _____

of Proposed Parking Space: 24

Traffic Count Projections (attach documentation): _____

Percent Impervious (attach documentation): 39,738 s.f. (0.912 acres) 67 % of site

Description of Required Landscaping (attach landscape plan): _____

Additional Information: _____

OFFICE USE ONLY

Received By: Rhonda Schrage Date: 9/23/24 Fee: \$2200.00 Paid: Yes No

Note: The Town of Algoma or a duly appointed official maintain the right to cancel this agreement if the applicant has been deemed in violation of this agreement or Town of Algoma Municipal Code. No refund will be provided.

Algoma Plan Commission

Project Description

Tommy's Express Car Wash

2100 Omro Road

Algoma, WI 54904

The proposed car wash building will include a 130-foot-long tunnel design, with a building footprint square footage of 5,266 square feet. Site access to the property will be from a newly created, private, cross-access drive that connects Brooks Lane to Abraham Lane. Tunnel entry at the North end of the property and tunnel exit at the South end of the property. The car wash building will house standard wash bay and drying areas, mechanical support spaces, storage areas, employee, customer service, and support areas including restroom facilities and employee-only work areas.

Exterior materials of the car wash will consist of many prefinished metal materials including metal panels of Tommy Car Wash's signature Cardinal Red color on featured tower elements that flank the North and South ends of the building, prefinished aluminum composite panels in a complementing Brite Red color over the tunnel entry and exit with Ebony panels at the bases, and prefinished aluminum Metallic Silver parapet fascia and cornice features. Additional complimentary exterior materials to contrast the prefinished metals include fiber cement textured panels in Gray color at offsetting façade locations opposite corners of the metal panel tower features and split face CMU wainscot around the base of the building in Ash color. Lastly, the tunnel design is highlighted with a high percentage of storefront glazing, as well as an arching glass roof design, to provide the signature appearance of the car wash structure skinned over a structural steel frame.

Prior to the commencement of the Project, a Certified Survey Map will be executed as attached with this application, to divide the property into three lots. Before construction of the carwash is commenced, the existing tenants in the building will be vacated, except for BMO Bank. Approximately two-thirds of the building will be razed in preparation of the development of the west two lots. The west end of the BMO Bank space will have a reconstructed exterior wall with similar materials of the rest of the building.

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 AND OF THE NORTHWEST OF THE SOUTHEAST 1/4, ALL LOCATED IN SECTION 16, TOWNSHIP 18 NORTH, RANGE 16 EAST, IN THE TOWN OF ALGOMA, WINNEBAGO COUNTY, WISCONSIN

- ⊙ - INDICATES 1" IRON PIPE SET
- - INDICATES 1" IRON PIPE FOUND
- - INDICATES 3/4" ROD FOUND

ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

BEARINGS ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WINNEBAGO COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)). ALL BEARINGS SHOWN ARE REFERENCED TO SOUTH LINE OF THE NE 1/4 OF SECTION 16, T8N, R16E, WHICH BEARS N 89°49'52" W

PREPARED BY:
CHRISTOPHER JACKSON, PLS
CJ ENGINEERING, LLC
9205 W. CENTER ST. #214
MILWAUKEE, WI 53222
(414) 443-1312

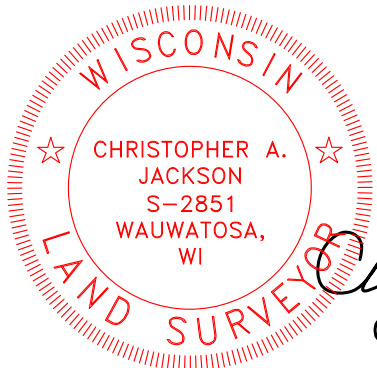
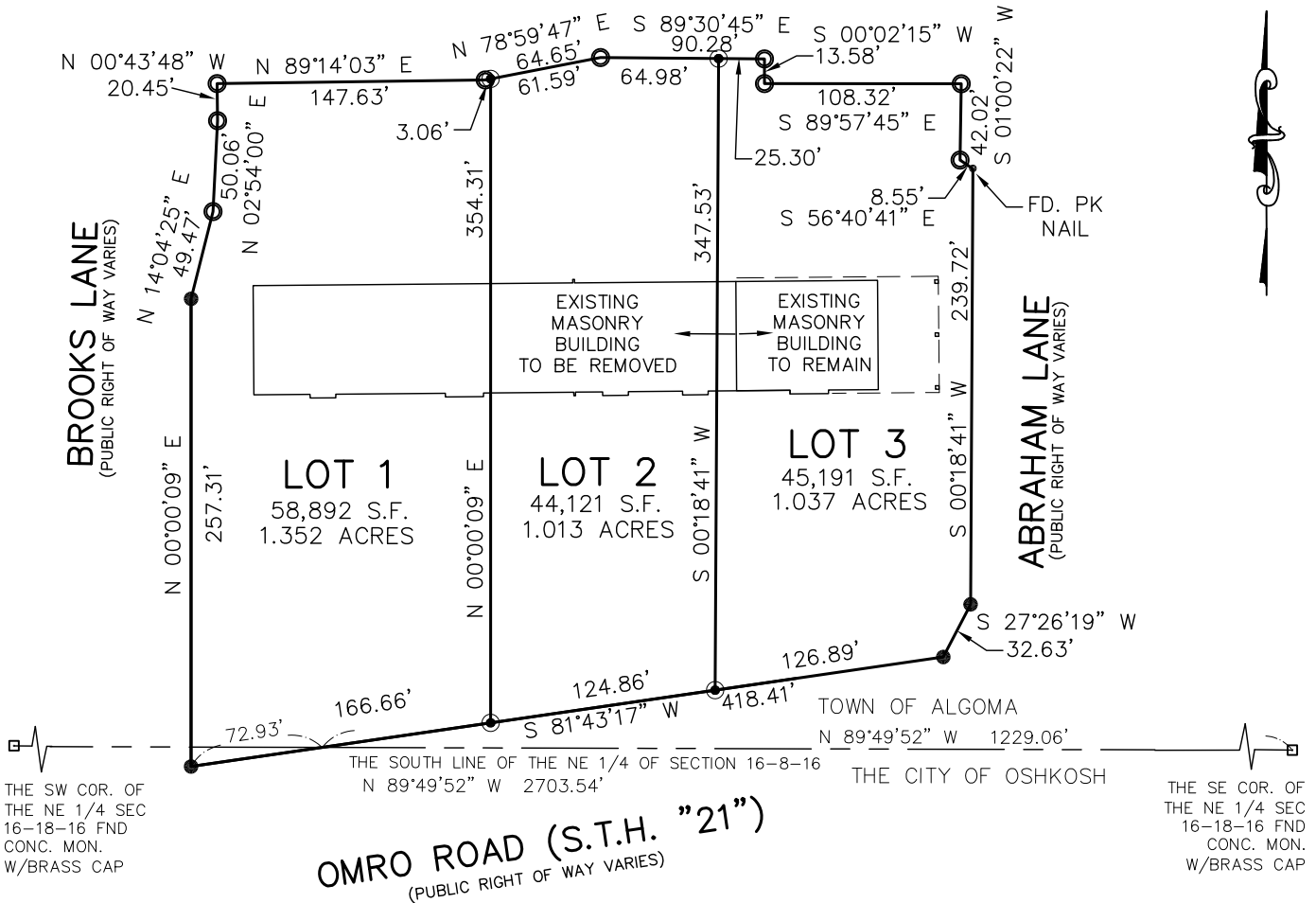
PREPARED FOR:
STKJR EXPRESS, LLC
1722 CLARENCE CT.
WEST BEND, WI 53095

GRAPHIC SCALE



1 INCH = 100 FT.

EAST WAY DRIVE (PUBLIC RIGHT OF WAY VARIES)



Christopher A. Jackson
09-20-24

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 AND OF THE NORTHWEST OF THE SOUTHEAST 1/4, ALL LOCATED IN SECTION 16, TOWNSHIP 18 NORTH, RANGE 16 EAST, IN THE TOWN OF ALGOMA, WINNEBAGO COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, CHRISTOPHER JACKSON, A PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, MAPPED AND DIVIDED LANDS LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 AND IN THE NORTHWEST OF THE SOUTHEAST 1/4, ALL OF SECTION 16, TOWNSHIP 18 NORTH, RANGE 16 EAST, IN THE TOWN OF ALGOMA, WINNEBAGO COUNTY, WISCONSIN. LANDS DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SECTION 16, TOWNSHIP 18 NORTH, RANGE 16 EAST; THENCE N89°49'52"W ALONG THE SOUTH LINE OF THE NORTHEAST 1/4, 1229.06 FEET TO THE INTERSECTION OF SAID SOUTH LINE AND THE NORTH RIGHT OF WAY LINE OF STATE HIGHWAY 21 (STATE R/W PROJECT 6184-14-21) AND TO THE POINT OF BEGINNING OF THE PARCELS TO BE DESCRIBED; THENCE S81°43'17"W ALONG SAID NORTH RIGHT OF WAY LINE, 72.93 FEET TO THE COMMON EAST LINE OF OMRO ROAD AND THE BROOKS LANE; THENCE N00°00'09"E ALONG SAID EAST LINE, 257.31 FEET; THENCE, N14°04'25"E ALONG THE EAST LINE OF BROOKS LANE, 49.47 FEET; THENCE N02°54'00"E ALONG SAID EAST LINE, 50.06 FEET; THENCE N00°43'48"W ALONG SAID EAST LINE, 20.45 FEET TO THE SOUTH LINE OF EAST WAY DRIVE; THENCE N89°14'03"E ALONG SAID SOUTH LINE, 147.63 FEET; THENCE N78°59'47"E ALONG SAID SOUTH LINE, 64.65 FEET; THENCE S89°30'45"E ALONG SAID SOUTH LINE, 90.28 FEET; THENCE S00°02'15"W ALONG SAID SOUTH LINE, 13.58 FEET; THENCE S89°57'45"E ALONG SAID SOUTH LINE, 108.32 FEET TO THE WEST LINE OF ABRAHAM LANE; THENCE S01°00'22"W ALONG SAID WEST LINE, 42.02 FEET; THENCE S56°40'41"E ALONG SAID WEST LINE, 8.55 FEET; THENCE S00°18'41"W ALONG SAID WEST LINE, 239.72 FEET; THENCE S27°26'19"W ALONG SAID WEST LINE AND THE NORTH RIGHT OF WAY LINE OF STATE HIGHWAY 21, 32.63 FEET; THENCE S81°43'17"W ALONG SAID NORTH LINE OF STATE HIGHWAY 21, 345.47 FEET TO THE POINT OF BEGINNING OF THE PARCELS DESCRIBED.

CONTAINING: 148,205 SQ.FT. OR 3.40 ACRES

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF STKJR EXPRESS LLC, OWNERS OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN AND SUBDIVISION REGULATIONS OF THE TOWN OF ALGOMA IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 20TH DAY OF SEPTEMBER, 2024.



CHRISTOPHER A. JACKSON
PROFESSIONAL LAND SURVEYOR, S-2851
STATE OF WISCONSIN



CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 AND OF THE NORTHWEST OF THE SOUTHEAST 1/4, ALL LOCATED IN SECTION 16, TOWNSHIP 18 NORTH, RANGE 16 EAST, IN THE TOWN OF ALGOMA, WINNEBAGO COUNTY, WISCONSIN

OWNER'S CERTIFICATE

STKJR EXPRESS LLC, A WISCONSIN COMPANY EXISTING UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANIES CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED ON THIS MAP.

IN WITNESS WHEREOF, STKJR EXPRESS LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY _____, MANAGING MEMBER, THIS _____ DAY OF _____, 20__.

MANAGING MEMBER
STKJR EXPRESS, LLC

STATE OF WISCONSIN)
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20__, _____, TO ME KNOWN TO BE THE MANAGING MEMBER OF STKJR EXPRESS, LLC AND THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICERS OF SAID COMPANY AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN
MY COMMISSION EXPIRES _____, 20__

CONSENT OF LENDER

BANK FIRST, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING, MAPPING AND DEDICATION OF THE LAND DESCRIBED ON THIS MAP AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATION OF OWNERS.

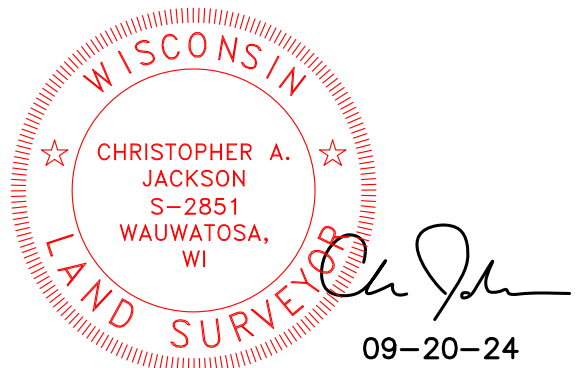
IN WITNESS WHEREOF, THE SAID BANK FIRST, HAS CAUSED THESE PRESENTS TO BE SIGNED BY _____, AT _____, THIS _____ DAY OF _____, 20__.

BY: _____
NAME:
TITLE:

STATE OF _____)
COUNTY OF _____) SS

PERSONALLY CAME BEFORE ME ON _____, 20__, BY _____, IN HIS/HER CAPACITY AS _____ OF BANK FIRST, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC,
MY COMMISSION EXPIRES _____, 20__.



CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 AND OF THE NORTHWEST OF THE SOUTHEAST 1/4, ALL LOCATED IN SECTION 16, TOWNSHIP 18 NORTH, RANGE 16 EAST, IN THE TOWN OF ALGOMA, WINNEBAGO COUNTY, WISCONSIN

TOWN OF ALGOMA APPROVAL

THE CERTIFIED SURVEY MAP HAS BEEN REVIEWED AND ACCEPTED BY THE TOWN OF ALGOMA.

AUTHORIZED REPRESENTATIVE

DATE

WINNEBAGO COUNTY PLANNING AND ZONING COMMITTEE

THE CERTIFIED SURVEY MAP HAS BEEN REVIEWED AND ACCEPTED BY THE WINNEBAGO COUNTY PLANNING AND ZONING COMMITTEE.

AUTHORIZED REPRESENTATIVE

DATE

TREASURER CERTIFICATE

WE, BEING DULY ELECTED OR APPOINTED, QUALIFIED AND ACTING TREASURES OF THE TOWN OF ALGOMA AND WINNEBAGO COUNTY, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN OUR OFFICE THAT THERE ARE NO UNPAID TAXES, OR SPECIAL ASSESSMENTS ON ANY OF THE LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

TOWN OF ALGOMA TREASURER

DATE

WINNEBAGO COUNTY TREASURER

DATE



Christopher A. Jackson

09-20-24



AGENDA MEMORANDUM

To: Planning Commission Chairperson and Members

From: Maggie Mahoney, Administrator

Date: October 9, 2024

RE: **ITEM 7: Discussion and Possible Action re:** Site Plan by petitioner Peter Schwabe, Inc, on behalf of Killian Management Services for a Tommy's Express Car Wash at 2100 Omro Road, Oshkosh, parcel 00200910101.

GENERAL INFORMATION:

Petitioner: Peter Schwabe, Inc.
N16W23233 Stone Ridge Dr, Ste 250
Waukesha, WI 53188

Owner: Killian Management Services
1722 Clarence Ct.
West Bend, WI 53095

Past Planning Discussion(s): None

Action Requested: Consider approval of Site Plan by petitioner Peter Schwabe, Inc, on behalf of Killian Management Services for a Tommy's Express Car Wash at 2100 Omro Road, Oshkosh, parcel 00200910101.

Property Location and Type:

The subject property is Lot 1 on the proposed CSM (attached)and is zoned B-3 Regional Business District. The proposed project is a Tommys' Express Car Wash, is a permitted use for that zoning district and does not have any special standards that are applied.

Three of the four adjacent properties are zoned B-3 Regional Business, while the properties to the north are zoned R-1 Rural Residential.

Proposed Project:

As noted in the previous agenda item, prior to commencement of the project the tenants of the existing building will be vacated except for BMO Bank which will be on the newly created Lot 3. Approximately two-thirds of the building will be razed in preparation for development on Lots 1 and 2. The west end of BMO Bank will reconstruct their exterior wall.

The proposed project is a Tommy’s Express Car Wash and will include a 130 foot-long tunnel design with a 5,266 sq ft building. The total project site area is 58,892 sq. ft., of which ~40,000 is impervious surface (~67% of the site).

Site access to the property will be from a newly created private, cross-access drive that connect Brooks Lane to Abraham Lane. In addition a driveway has been added on East Way Drive. The car wash building will house standard wash bay and drying areas, mechanical support spaces, storage areas, employees, customer service and support areas including restrooms and employee-only work areas.

The car wash requires 3 employees to operate. The average number of employees hired for one location is 16 (full and part time). Traffic count to the site on average is ~500 cars daily during operation hours of 7:00am to 9:00pm.

Construction is estimated to start April 1, 2025 and be completed by Nov 1, 2025.

ANALYSIS:

A site plan review meeting was held on Oct 4, 2024 with the Town Administrator, Town Engineer, Town Fire Chief, representatives from the Algoma Sanitary District, and representatives from the development team to go review the details of the site plan.

Water & Sanitary Sewer:

A high capacity well will be installed for water service. The developer will work with the WDNR on all required encasements and the well will be adequately sized to service the lots for operations as well as fire protection. It is currently not feasible to extend the water line from Conrad Street.

Algoma Sanitary District #1 will provide sanitary sewer.

The proposed site plan meets all of the requirements of Town Municipal Code Chapter 225, Land Development, Article VII, Site Plan Review as follows:

225-69 Development Standards

- A. Driveways: one driveway moved from Brooks Lane and added to East Way Drive
- B. Parking
- C. Outside Storage of equipment, products or materials
- D. Landscaping: draft plan, additional edits are anticipated
- E. Outside storage of waste and trash
- F. Drainage
- G. Outdoor Lighting
- H. Signs

225-70 Administration

- A. General Requirements
- B. Town staff review
- C. Application
- D. Site plan

Detailed notes of the code requirement review above is attached.

The proposed site plan also meets the following B-3 Regional Business District dimensional standards defined for that district in Chapter 23: Town/County Zoning of the Winnebago County Municipal Code, Exhibit 8-2 as follows:

Exhibit 8-2 Dimensional standards by zoning district - continued

B-3 Regional business district

Lot size, minimum: 30,000 sq. ft.[1]

Lot size, maximum: none

Lot width, minimum: 100 ft.

Road frontage, minimum: 100 ft.

Floor area ratio, maximum: no limitation

Separation between detached buildings, minimum: 10 ft.

Yard setback: [2,3]

Street yard, minimum: 30 ft.

Side yard, minimum: 7 ft. on one side and 10 ft. on the other for a principal building; 3 ft. for a detached accessory building or 5 ft. from an alley

Rear yard minimum: 25 ft. for a principal building; 3 feet for a detached accessory building or 5 ft. from an alley

Building height:

Principal building, maximum: 45 ft.

Accessory building, maximum: 18 ft.

Floor area:

Principal building, minimum: none

Accessory buildings, maximum: no limitation

Number of detached accessory buildings, maximum: no limitation

Notes:

1. The minimum size of the lot may actually be larger due to environmental constraints and land required for on-site infrastructure requirements such as stormwater management and on-site sewage disposal systems.
2. Some land uses that may be allowed in this zoning district may have more restrictive yard setback requirements than what is listed. Refer to the development standards in division 9 of this article.
3. Lots abutting more restrictive district boundaries shall provide side and rear yards not less than those required in the more restrictive abutting districts. The street yards on the less restrictive district shall be modified for a distance of not more than 75 feet from the district boundary line so as to equal the average of the street yards required in both districts.

The proposed site plan meets the Town requirements.

RECOMMENDED ACTION:

Staff recommends approval of the site plan as presented. Should the Planning Commission agree, the following motion may be made:

“Motion to recommend approval to the Town Board of the Site Plan by petitioner Peter Schwabe, Inc, on behalf of Killian Management Services for a Tommy’s Express Car Wash at 2100 Omro Road, Oshkosh, parcel 00200910101.”

ATTACHMENTS:

1. Town Application with project description
2. Site Plan and related plans
3. Town Staff Review Details



Town of Algoma
15 N. Oakwood Road
Oshkosh, WI 54904
(920) 235-3789

Visit us at www.townofalgoma.org
M-Th 9:00-5:00 F 9:00-1:00

Site Plan Review/Plan Commission General Application

APPLICANT INFORMATION

Petitioner: Peter Schwabe, Inc Date: 9/20/24
Petitioner's Address: N16W23233 Stone Ridge Dr. Suite 250 City: Waukesha State: WI Zip: 53188
Telephone #: (262) 662-5551 Fax: (262) 662-3667 Other Contact # or Email: tstepniewski@pschwabe.com
Status of Petitioner (Please Check): Owner Representative Tenant Prospective Buyer
Petitioner's Signature (required): [Signature] Date: 9/21/24

OWNER INFORMATION

Owner(s): Kilian Management Services Date: 9/20/24
Owner(s) Information: 1722 Clarence Ct. City: West Bend State: WI Zip: 53095
Telephone #: (262) 338-6111 Fax: () _____ Other Contact # or Email: kmsreceptiondesk@gmail.com
Ownership Status (Please Check): Individual Trust Partnership Corporation
Property Owner Consent (required)

By signature hereon, I/We acknowledge that Town officials and/or employees may, in the performance of their functions, enter upon the property to inspect or garner other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Town of Algoma for incomplete submissions or other administrative reasons.

Property Owner's Signature: Steven Kilian Date: 09/23/24
S:Steven Kilian (Sep 23, 2024 17:33 CDT)

SITE INFORMATION

Address/Location of Proposed Project: 2100 Omra Road, Algoma, WI
Current Use of Property: Commercial Zoning: B-3
Land Uses Surrounding Your Site: North: Residential
South: Commercial
East: Commercial
West: Commercial

Projected Timeline: Construction to start April 1st, 2025 & Completion November 1st, 2025

Project Description: Please see attached Project Description.

Note: The Town of Algoma or a duly appointed official maintain the right to cancel this agreement if the applicant has been deemed in violation of this agreement or Town of Algoma Municipal Code. No refund will be provided.



Town of Algoma
15 N. Oakwood Road
Oshkosh, WI 54904
(920) 235-3789

Visit us at www.townofalgoma.org
M-Th 9:00-5:00 F 9:00-1:00

Site Plan Review/Plan Commission General Application Continued

SITE INFORMATION CONTINUED

Development Characteristics Gross Acreage/ Square Feet: 58,892 s.f. (1.352 Acres)

Development Area and Percentage: 58,892 s.f. (1.352 acres)

of Employees/#of Residential Units: _____

of Proposed Parking Space: 24

Traffic Count Projections (attach documentation): _____

Percent Impervious (attach documentation): 39,738 s.f. (0.912 acres) 67 % of site

Description of Required Landscaping (attach landscape plan): _____

Additional Information: _____

OFFICE USE ONLY

Received By: Rhonda Schrage Date: 9/23/24 Fee: \$2200.00 Paid: Yes No

Note: The Town of Algoma or a duly appointed official maintain the right to cancel this agreement if the applicant has been deemed in violation of this agreement or Town of Algoma Municipal Code. No refund will be provided.

Algoma Plan Commission

Project Description

Tommy's Express Car Wash

2100 Omro Road

Algoma, WI 54904

The proposed car wash building will include a 130-foot-long tunnel design, with a building footprint square footage of 5,266 square feet. Site access to the property will be from a newly created, private, cross-access drive that connects Brooks Lane to Abraham Lane. Tunnel entry at the North end of the property and tunnel exit at the South end of the property. The car wash building will house standard wash bay and drying areas, mechanical support spaces, storage areas, employee, customer service, and support areas including restroom facilities and employee-only work areas.

Exterior materials of the car wash will consist of many prefinished metal materials including metal panels of Tommy Car Wash's signature Cardinal Red color on featured tower elements that flank the North and South ends of the building, prefinished aluminum composite panels in a complementing Brite Red color over the tunnel entry and exit with Ebony panels at the bases, and prefinished aluminum Metallic Silver parapet fascia and cornice features. Additional complimentary exterior materials to contrast the prefinished metals include fiber cement textured panels in Gray color at offsetting façade locations opposite corners of the metal panel tower features and split face CMU wainscot around the base of the building in Ash color. Lastly, the tunnel design is highlighted with a high percentage of storefront glazing, as well as an arching glass roof design, to provide the signature appearance of the car wash structure skinned over a structural steel frame.

Prior to the commencement of the Project, a Certified Survey Map will be executed as attached with this application, to divide the property into three lots. Before construction of the carwash is commenced, the existing tenants in the building will be vacated, except for BMO Bank. Approximately two-thirds of the building will be razed in preparation of the development of the west two lots. The west end of the BMO Bank space will have a reconstructed exterior wall with similar materials of the rest of the building.



Good for your cars Great for your city

Environmentally friendly

- 100% of non-evaporated water is recycled
- No lighting required during daylight hours

State-of-the-art facility and operations

- Iconic and instantly identifiable architecture
- High standards of professionalism and training

Efficient processing

- High-capacity design and efficient site layout
- Can process more than 200 vehicles per hour

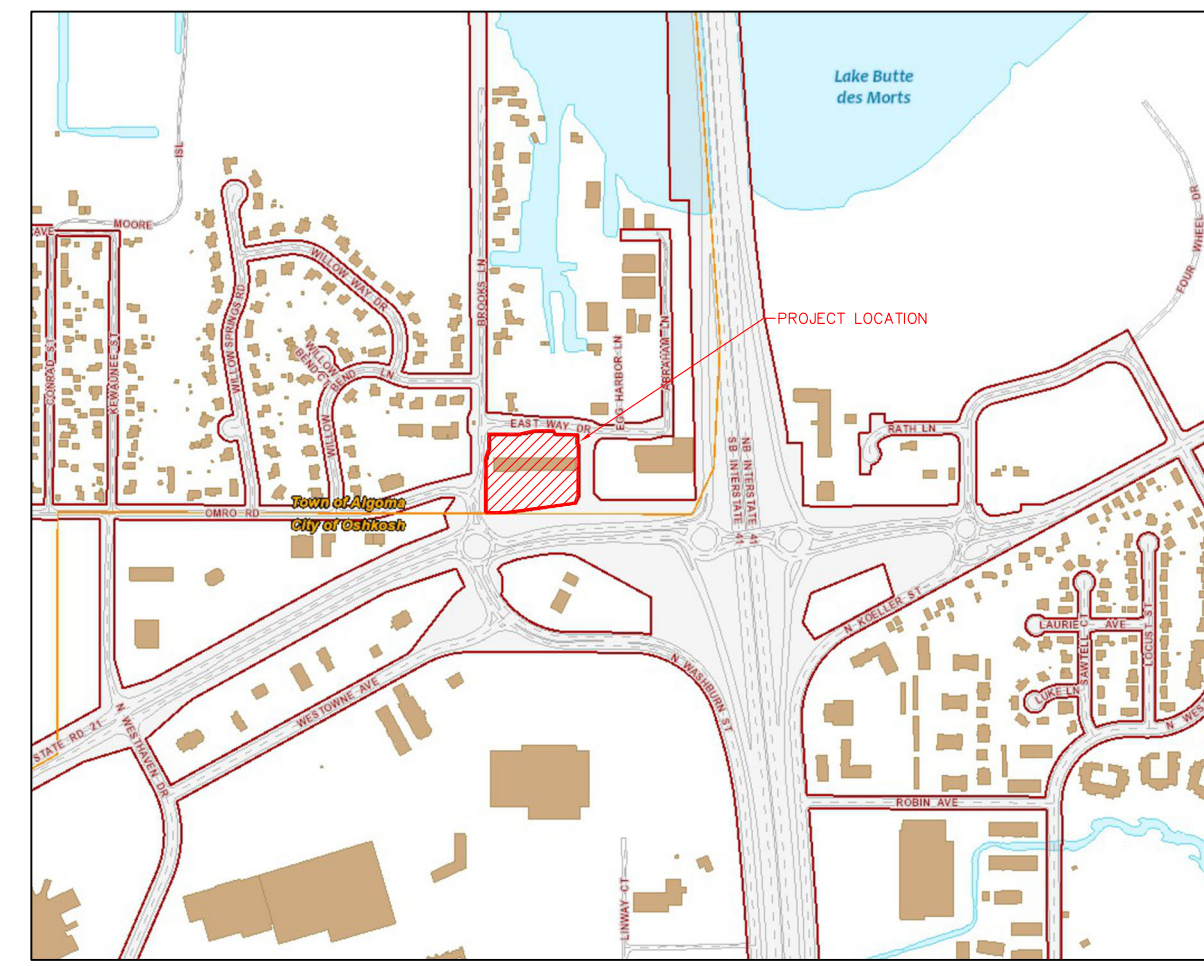
Focus on the community

- Franchises are locally owned and operated
- Partnerships with local community organizations

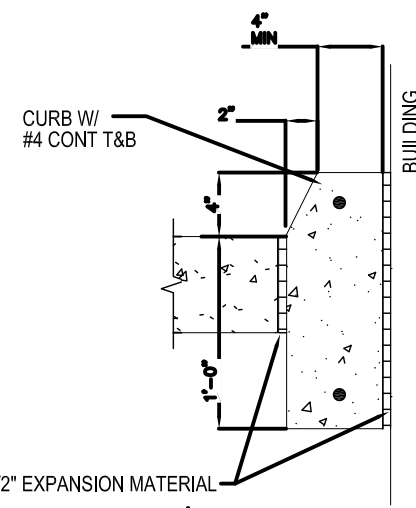
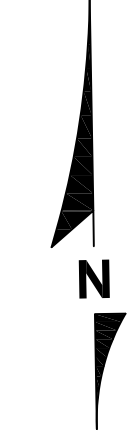
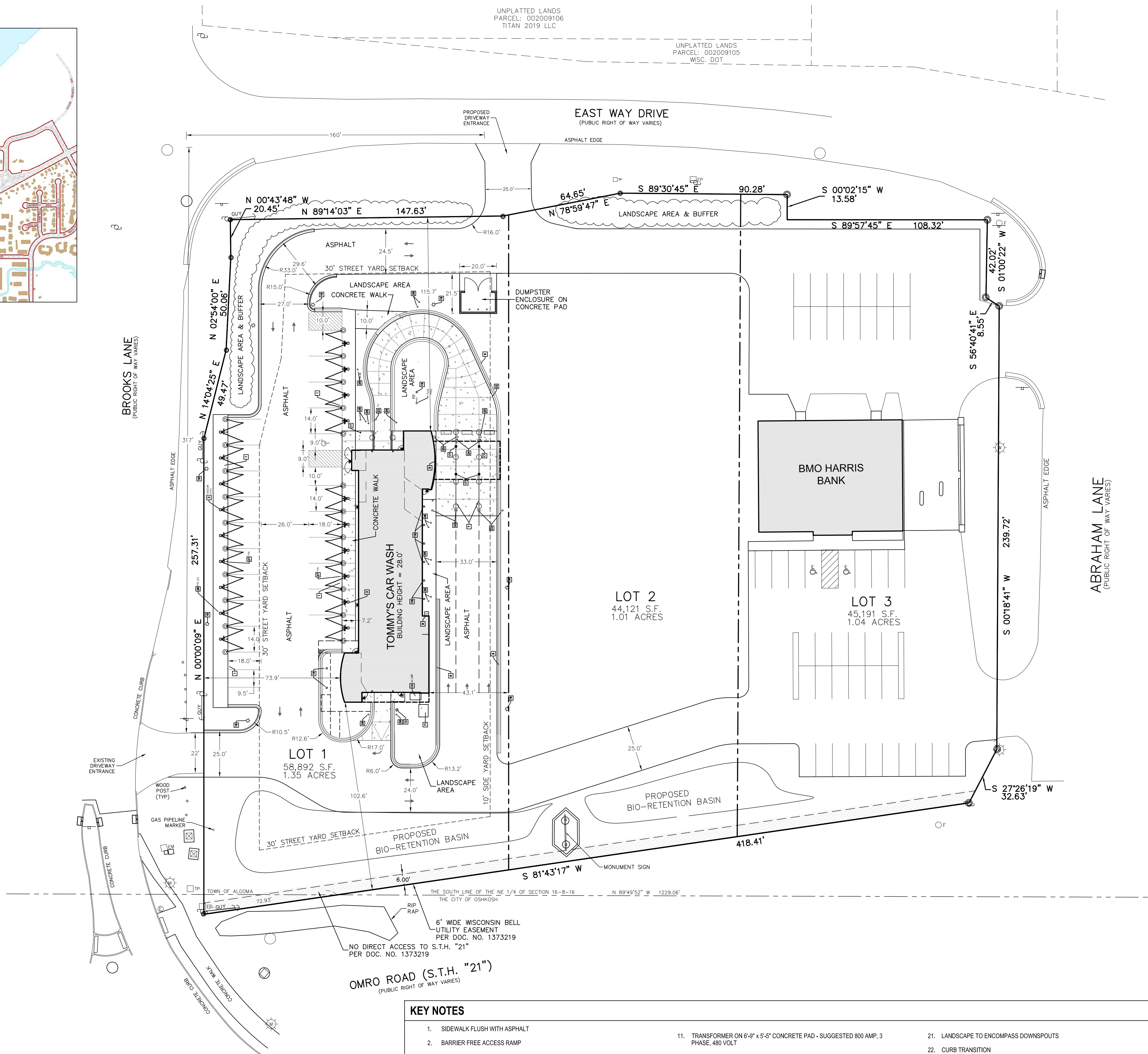


Visit our website for more information.

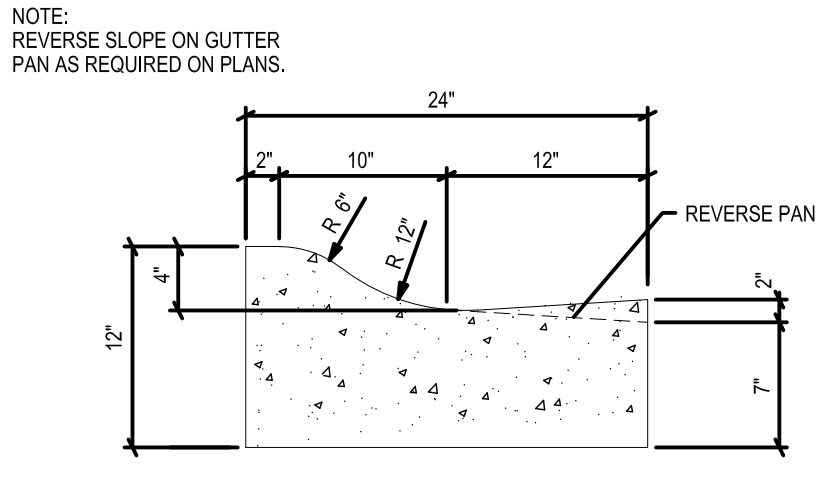
Find out why Tommy's Express is great for your city.



LOCATION MAP
 NOT TO SCALE



CHAMFERED CURB DETAIL
 NOT TO SCALE



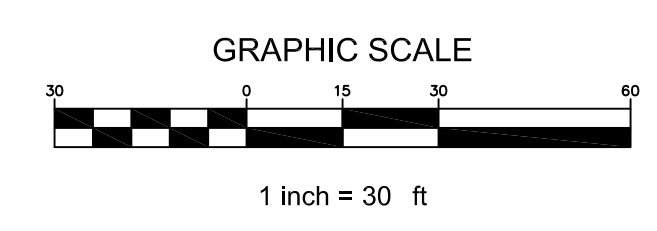
STANDARD ROLL CURB DETAIL
 NOT TO SCALE

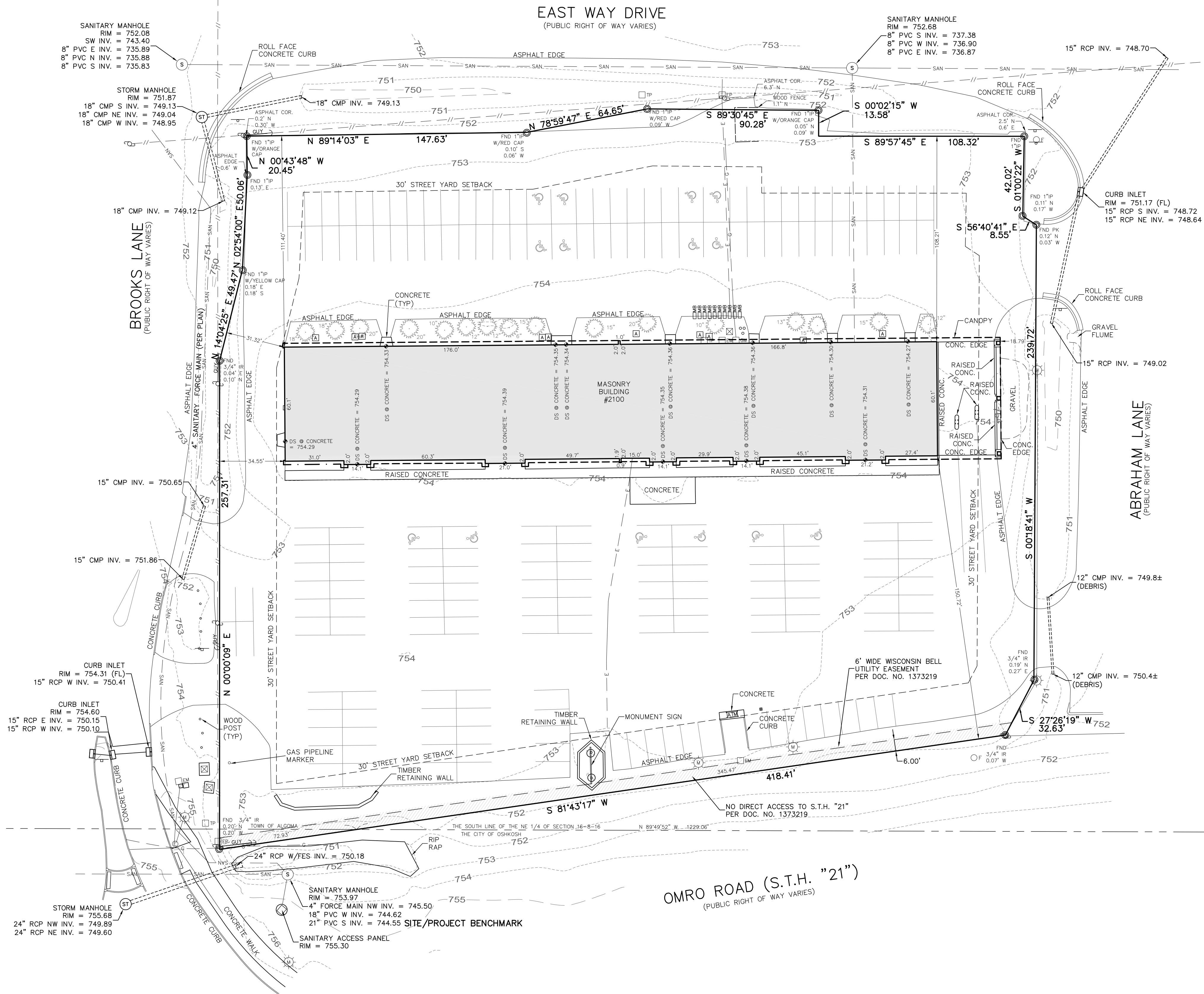
NOTES:
 1. DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF ASPHALT UNLESS OTHERWISE SPECIFIED
 2. CARWASH ENTRANCE ACCESS TO BE PROVIDED AS ONE WAY TRAFFIC ON THE SOUTHEAST SIDE OF LOT 1. CARWASH EXIST. TRAFFIC WILL EXIT FROM SOUTH END OF BUILDING AND DIRECTED EAST. ALL OTHER ACCESS AND DRIVE AISLES WILL BE SUBJECT TO TWO WAY TRAFFIC. ALL TRAFFIC DIRECTIONS ARE SHOWN WITH TRAFFIC ARROWS IN PLAN VIEW. PATRONS AND EMPLOYEES WILL HAVE ACCESS TO SITE EXITS TO THE NORTH, WEST AND EAST.

LOT 1 - SITE AREAS
 PROPOSED BUILDING FOOTPRINT = 5,266 S.F. (0.121 ACRES)
 PROPOSED PAVEMENT = 34,472 S.F. (0.791 ACRES)
 PROPOSED IMPERVIOUS AREA = 39,738 S.F. (0.912 ACRES) [67% OF THE SITE]
 PROPOSED OPEN SPACE = 19,154 S.F. (0.440 ACRES) [33% OF THE SITE]
 TOTAL SITE AREA = 58,892 S.F. (1.352 ACRES)

PROPOSED SURFACE PARKING
 4 REGULAR PARKING STALLS
 19 VACUUM PARKING STALLS
 1 HANDICAPPED SPACES (ADA COMPLIANT VAN ACCESSIBLE SPACES)
 24 TOTAL PARKING STALLS

KEY NOTES		
1. SIDEWALK FLUSH WITH ASPHALT	11. TRANSFORMER ON 6'-9" x 5'-5" CONCRETE PAD - SUGGESTED 800 AMP, 3 PHASE, 480 VOLT	21. LANDSCAPE TO ENCOMPASS DOWNSPOUTS
2. BARRIER FREE ACCESS RAMP	12. SONTUBE WITH CONDUIT FOR RELAX / GO LIGHT	22. CURB TRANSITION
3. VACUUM STANCHION CANOPY AND CANISTER	13. DATA TO BUILDING. SELECT ONE ENTRANCE POINT FROM RECOMMENDED LOCATIONS	23. LICENSE PLATE READER
4. TRENCH DRAIN	14. AC UNIT ON 6'-0" x 3'-6" CONCRETE PAD.	24. APPROVE / GO LIGHT
5. CHAMFERED CURB FACE 6" MIN. FROM CENTER POINT OF TOWER, SEE DETAIL A1	15. SANITARY CLEANOUT	25. GATE
6. ROLLED CURB AND GUTTER	16. DOWNSPOUT (ALL DOWNSPOUT DISCHARGE LOCATIONS SHOULD BE BELOW GRADE AND TIED INTO UNDERGROUND STORM NETWORK)	26. TOMMY PROVIDED RED BALL VACUUM HOSE HOLDER
7. PAY LANE RAISED CONCRETE ISLAND, 3'-0" WIDE, 4" HIGH FOR TX SITES AND 3'-6" WIDE, 4" HIGH FOR PRIVATE BRAND WITH AUTO TELLER	17. COLUMN	27. STAINLESS STEEL BOLLARD (AT VACUUM STATIONS)
8. WATER RECLAMATION SYSTEM - 6" LINE SEE ENLARGED PLAN	18. LIGHT POLE	28. U-SHAPED SNAP SIGN
9. GAS METER - 2" LINE - ELEVATED GAS SERVICE PRESSURE OF 2 PSII IS REQUIRED	19. FLOODLIGHTS	29. CAMERA POLE
10. WATER SERVICE ENTRANCE - 2" LINE - MINIMUM WATER PRESSURE IS 60 PSI STATIC, 50 PSI RESIDUAL.	20. TRASH ENCLOSURE TO BE PROVIDED BY ARCHITECT OF RECORD.	30. INSTALL CONCRETE PAD FOR SITES WITH SNOW MELT AS SHOWN (FOR SITES WITHOUT SNOW MELT ADA SPACE AND ISLE CAN BE ASPHALT)



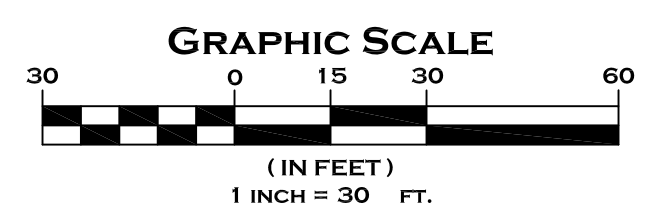


- NOTES
- SUBJECT PROPERTY ZONED: B-3, GENERAL BUSINESS DISTRICT.
 - SETBACKS BASED ON WINNEBAGO COUNTY ZONING CODE AND ARE AS FOLLOWS:
STREET YARD 30 FEET.
SIDE YARD 7 FEET & 10 FEET.
REAR YARD 25 FEET.
 - LEGAL DESCRIPTION BASED ON ALTA/NSPS LAND TITLE SURVEY PROVIDED BY CLIENT.
 - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - PORTIONS OF SUBJECT PROPERTY LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, ZONE X: WITH A 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE, AND AE, A: SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55139C215E, WITH A DATE OF IDENTIFICATION OF 03/17/2003, IN COMMUNITY NO. 550537, WINNEBAGO COUNTY UNINCORPORATED AREAS, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED. BASED ON THE FEMA MAP HORIZONTAL LOCATION OF THE MAP THERE ARE AREAS WITHIN THE AE FLOOD ZONE, HOWEVER BASED ON THE FEMA MAP BASE FLOOD ELEVATION OF 750.0, THERE ARE NO AREAS ON THE PROPERTY WITHIN THE AE FLOOD ZONE.
 - PROJECT/SITE BENCHMARK - 21" PVC SOUTH SANITARY SEWER WITH AN INVERT OF 744.55, BASED ON SANITARY SEWER RELOCATION PLAN AND PROFILE PLAN RECORD DRAWING WITH A DATE OF 03/30/2012, PROVIDED BY THE TOWN OF ALGOMA.
 - SURVEY DATUM:
COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WINNEBAGO COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)), NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88(2012)), USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WCSORS & GEOID 12A).

SURVEYOR DESCRIPTION:
LANDS LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 AND IN THE NORTHWEST OF THE SOUTHEAST 1/4, ALL OF SECTION 16, TOWNSHIP 18 NORTH, RANGE 16 EAST, IN THE TOWN OF ALGOMA, WINNEBAGO COUNTY, WISCONSIN. LANDS DESCRIBED AS FOLLOWS:
COMMENCING AT THE EAST 1/4 CORNER OF SECTION 16, TOWNSHIP 18 NORTH, RANGE 16 EAST; THENCE N89°49'52"W ALONG THE SOUTH LINE OF THE NORTHEAST 1/4, 1229.06 FEET TO THE INTERSECTION OF SAID SOUTH LINE AND THE NORTH RIGHT OF WAY LINE OF STATE HIGHWAY 21 (STATE R/W PROJECT 6184-14-21) AND TO THE POINT OF BEGINNING OF THE PARCELS TO BE DESCRIBED; THENCE S81°43'17"W ALONG SAID NORTH RIGHT OF WAY LINE, 72.93 FEET TO THE COMMON EAST LINE OF OMRO ROAD AND THE BROOKS LANE; THENCE N00°00'09"E ALONG SAID EAST LINE, 257.31 FEET; THENCE N14°04'25"E ALONG THE EAST LINE OF BROOKS LANE, 49.47 FEET; THENCE N02°54'00"E ALONG SAID EAST LINE, 50.06 FEET; THENCE N00°43'48"W ALONG SAID EAST LINE, 20.45 FEET TO THE SOUTH LINE OF EAST WAY DRIVE; THENCE N89°14'03"E ALONG SAID SOUTH LINE, 147.63 FEET; THENCE N78°59'47"E ALONG SAID SOUTH LINE, 64.65 FEET; THENCE S89°30'45"E ALONG SAID SOUTH LINE, 90.28 FEET; THENCE S00°02'15"W ALONG SAID SOUTH LINE, 13.58 FEET; THENCE S89°57'45"E ALONG SAID SOUTH LINE, 108.32 FEET TO THE WEST LINE OF ABRAHAM LANE; THENCE S01°00'22"W ALONG SAID WEST LINE, 42.02 FEET; THENCE S56°40'41"E ALONG SAID WEST LINE, 8.55 FEET; THENCE S00°18'41"W ALONG SAID WEST LINE, 239.72 FEET; THENCE S27°26'19"W ALONG SAID WEST LINE AND THE NORTH RIGHT OF WAY LINE OF STATE HIGHWAY 21, 32.63 FEET; THENCE S81°43'17"W ALONG SAID NORTH LINE OF STATE HIGHWAY 21, 345.47 FEET TO THE POINT OF BEGINNING OF THE PARCELS DESCRIBED.
CONTAINING: 148,205 SQ.FT. OR 3.40 ACRES

www.DiggersHotline.com
DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511

LEGEND		
— SAN	— SANITARY SEWER	— HYDRANT
— ST	— STORM SEWER	— WATER VALVE
— W	— WATER MAIN	— GAS VALVE
— G	— BURIED GAS LINE	— MANHOLE
— TEL	— BURIED TELEPHONE LINE	— TV PEDESTAL
— E	— BURIED ELECTRIC LINE	— GAS METER
— FO	— BURIED FIBER OPTIC LINE	— AIR CONDITIONER
— U	— OVERHEAD UTILITY LINES	— UTILITY POLE
— CATV	— BURIED CABLE TELEVISION LINES	— WOOD SIGN
— COMB	— COMBINATION SEWER	— METAL SIGN
— WOOD FENCE	— METAL FENCE	— FLAG POLE
— BOLLARD	— BOLLARD LIGHT	— BOLLARD
— 994.32 DS	— DOOR SILL ELEVATION	— MAIL BOX
— FD	— FIRE DEPARTMENT CONNECTION	— FIBER OPTIC MARKER
— ET	— ELECTRIC TRANSFORMER	— HYDRANT
— EM	— ELECTRIC METER	— WATER VALVE
— EB	— ELECTRIC BOX AT GRADE	— GAS VALVE
— TB	— TELEPHONE BOX AT GRADE	— MANHOLE
— TP	— TELEPHONE PEDESTAL	— TV PEDESTAL
— GP	— GAS METER	— AIR CONDITIONER
— UP	— UTILITY POLE	— WOOD SIGN
— MS	— METAL SIGN	— METAL LIGHT POLE
— FP	— FLAG POLE	— WOOD LIGHT POLE
— B	— BOLLARD	— BOLLARD
— BL	— BOLLARD LIGHT	— MAIL BOX
— FM	— FIBER OPTIC MARKER	— GUY WIRE



PLAT OF SURVEY WITH TOPOGRAPHY

FOR
TOMMY'S EXPRESS CAR WASH
2100 OMRO RD
ALGOMA, WI

DRAWN BY:	RAP	DATE:	01/08/2024
CHECKED BY:	MJB	DRAWING No.:	23 - 128
CSE JOB No.:	23 - 128	SHEET	1 OF 1



LOCATION MAP
NOT TO SCALE

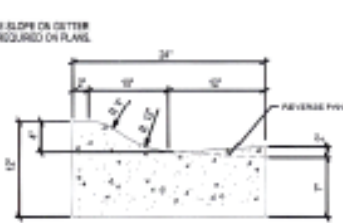


KEY	QTY	COMMON NAME
A	3	SARGENT CRAB
B	3	SUGAR MAPLE
C	4	RED TOWER CRAB
J	10	Black Hills spruce
F	5	Miss Kim lilac
T	3	Upright Juniper
G	4	Emerald Green Arbutus
H	7	Nelson Thorn spruce
I	68	Mix of Knautia grass and Juniper
Bio pond	1	Bio pond 1/2 VOLUMES OF NATIVE PLANTS

- Seeding lawns
- Aluminum Bed Ringing
- Hardwood Mulch Beds
- Mulch layer in Bio pond



CHAMFERED CURB DETAIL
NOT TO SCALE



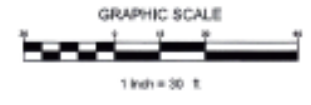
STANDARD ROLL CURB DETAIL
NOT TO SCALE

NOTES:
 1. DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF ASPHALT UNLESS OTHERWISE SPECIFIED

SITE AREAS
 PROPOSED BUILDING FOOTPRINT = 5,284 S.F. (0.121 ACRES)
 PROPOSED PAVEMENT = 34,472 S.F. (0.781 ACRES)
 PROPOSED IMPERVIOUS AREA = 39,738 S.F. (0.912 ACRES) (67% OF THE SITE)
 PROPOSED OPEN SPACE = 19,154 S.F. (0.440 ACRES) (33% OF THE SITE)
 TOTAL SITE AREA = 58,892 S.F. (1.342 ACRES)

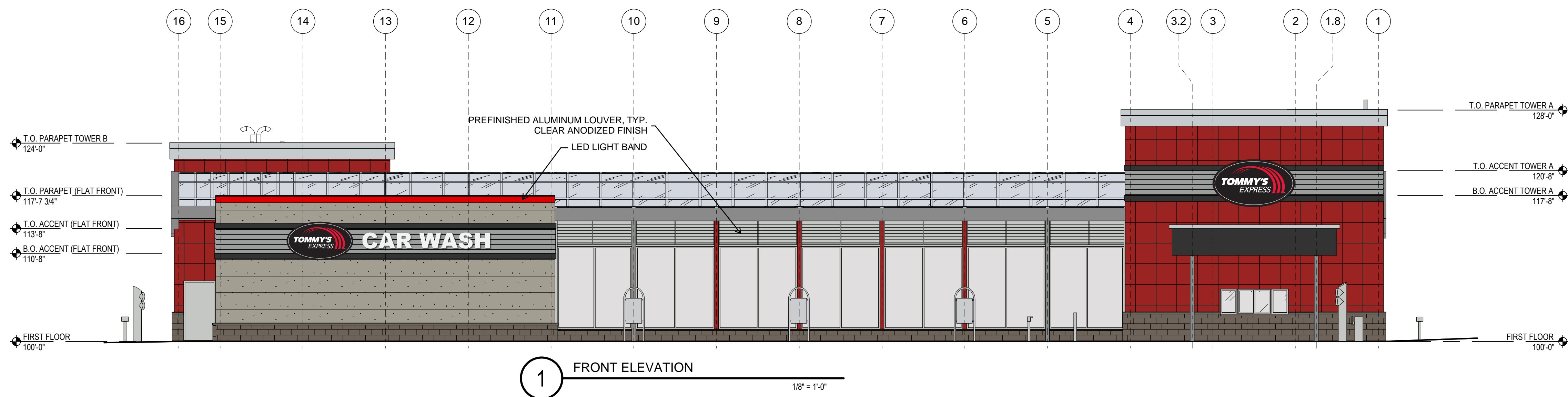
PROPOSED SURFACE PARKING
 4 REGULAR PARKING STALLS
 19 VOUCHER PARKING STALLS
 1 HANDICAPPED SPACES (ADA COMPLIANT VAN ACCESSIBLE SPACES)
 24 TOTAL PARKING STALLS

KEY NOTES		
1. SIDEWALK FLOOR WITH ASPHALT	11. TRANSFORMER ON 6" x 6" CONCRETE PAD - SUGGESTED 800 AMP, 3 PHASE, 480 VOLT	21. LANDSCAPE TO ENCOMPASS DOWNPOITS
2. BARRIER FREE ACCESS RAMP	12. SCHEDULE WITH CONDUIT FOR RELAY / LIGHT	22. CURB TRAPBOX
3. VACUUM SEWERBOX DAPERT AND DAPERTS	13. SAFE TO BUILDING SELECT ONE ENTRANCE POINT FROM RECOMMENDED LOCATIONS	23. LICENSE PLATE READER
4. TRENCH DRAIN	14. AC CURB ON 6" x 4" CONCRETE PAD	24. APPROVE / GO LIGHT
5. CHAMFERED CURB FACE IF MIN FROM CENTER POINT OF TOWER, SEE DETAIL #1	15. SANITARY CLEARWELL	25. GATE
6. ROLLUP CURB AND ENTRY	16. SANITARY CLEARWELL	26. TOMMY PROPOSED RED BALL VACUUM BOX HOLDING
7. 1/2" LIME RASCO CONCRETE ISLAND, 3/4" RISE IF HIGH FOR TRIP AND 3/4" RISE IF HIGH FOR PRIVATE BOUND WITH AUTO TELLER	17. DOWNPOUT / ALL DOWNPOUT DISCHARGE LOCATIONS SHOULD BE BELOW GRADE AND TIED INTO UNDERGROUND DRAIN NETWORK	27. STRENGTHENED ROLLUP AT VACUUM SYSTEM
8. WATER RECLAMATION SYSTEM - 6" LINE SEE ENLARGED PLAN	18. LIGHT POLE	28. VACUUM DRAIN BOX
9. GAS METER - 2" LINE - UNVATED GAS SERVICE PRESSURE IS 60 PSI REG. 100	19. FLOODLIGHTS	29. GROUND POLE
10. WATER SERVICES ENTRANCE - 2" LINE - UNVATED WATER PRESSURE IS 60 PSI STATE, IS PROPRIETARY	20. TRASH ENCLOSURE TO BE PROVIDED BY ARCHITECT OF RECORD	30. INSTALL CONCRETE PAD FOR SEES WITH SNOW MELT AS SHOWN FOR SITES WITHOUT SNOW MELT GATE SPACE AND BLY CAN BE ASPHALT

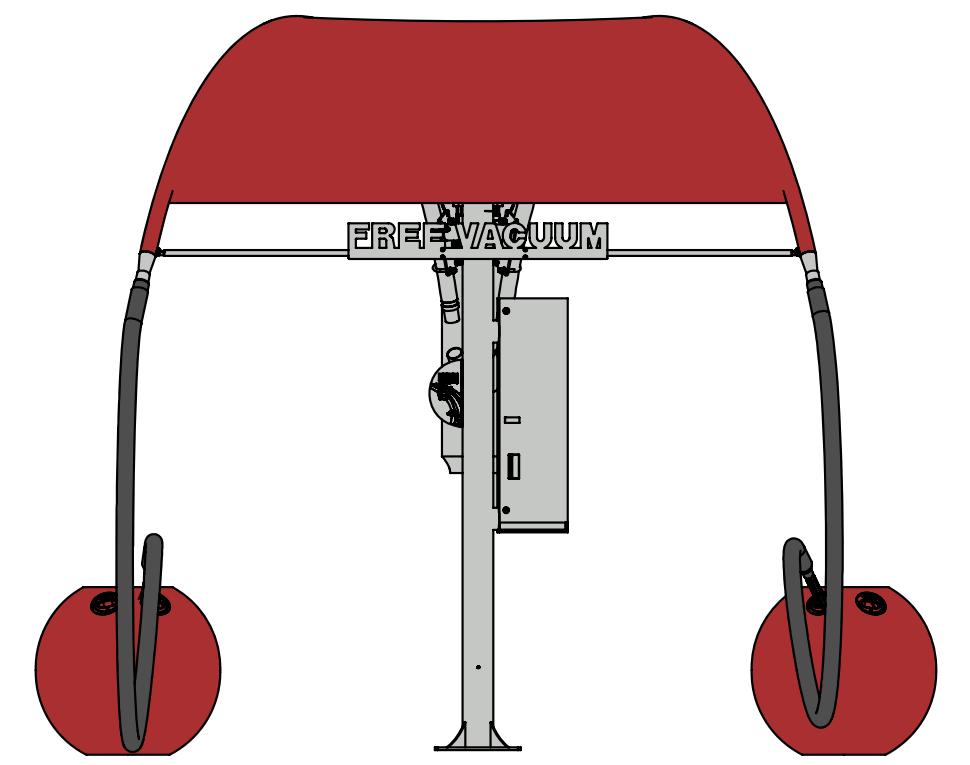


OSHKOSH COMMERCIAL DEVELOPMENT
 2100 OMRO ROAD ALGOMA, WISCONSIN

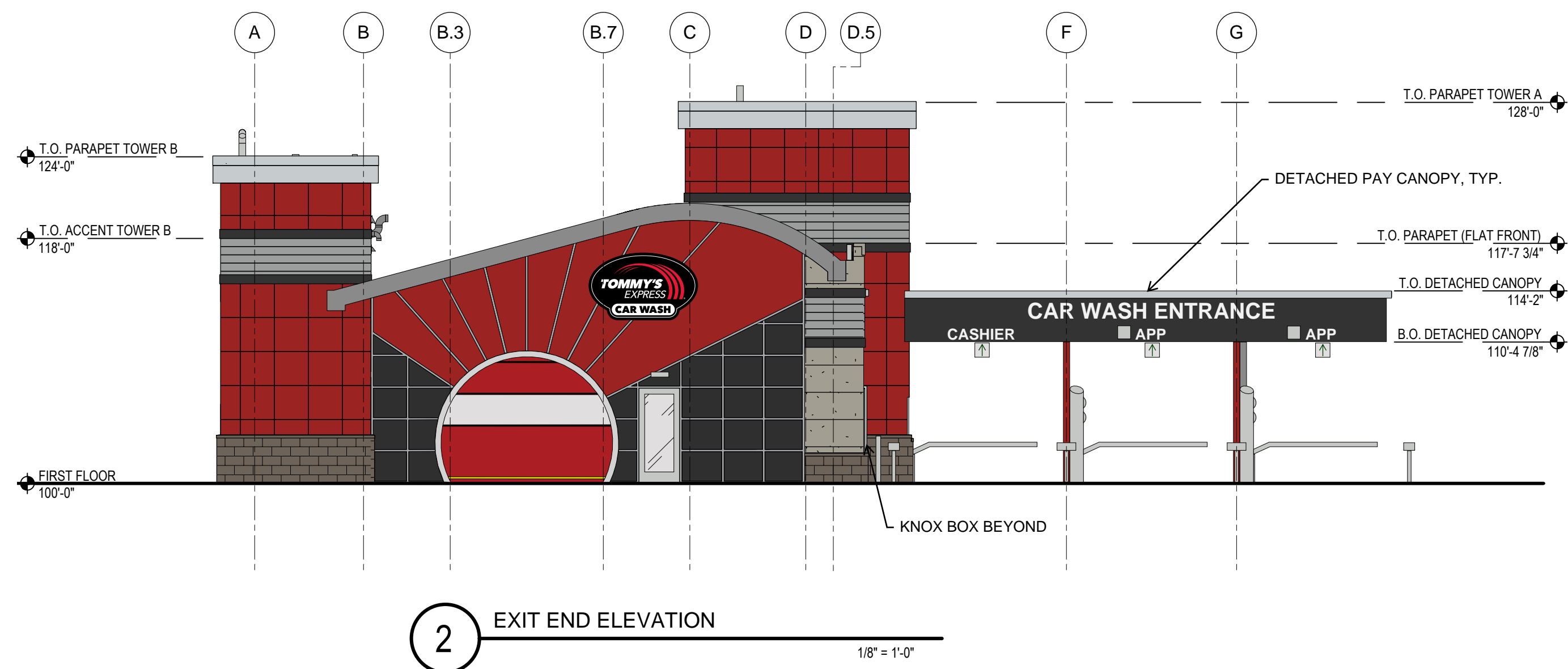
CJE NO.: 2359R14
 SEPTEMBER 23, 2024



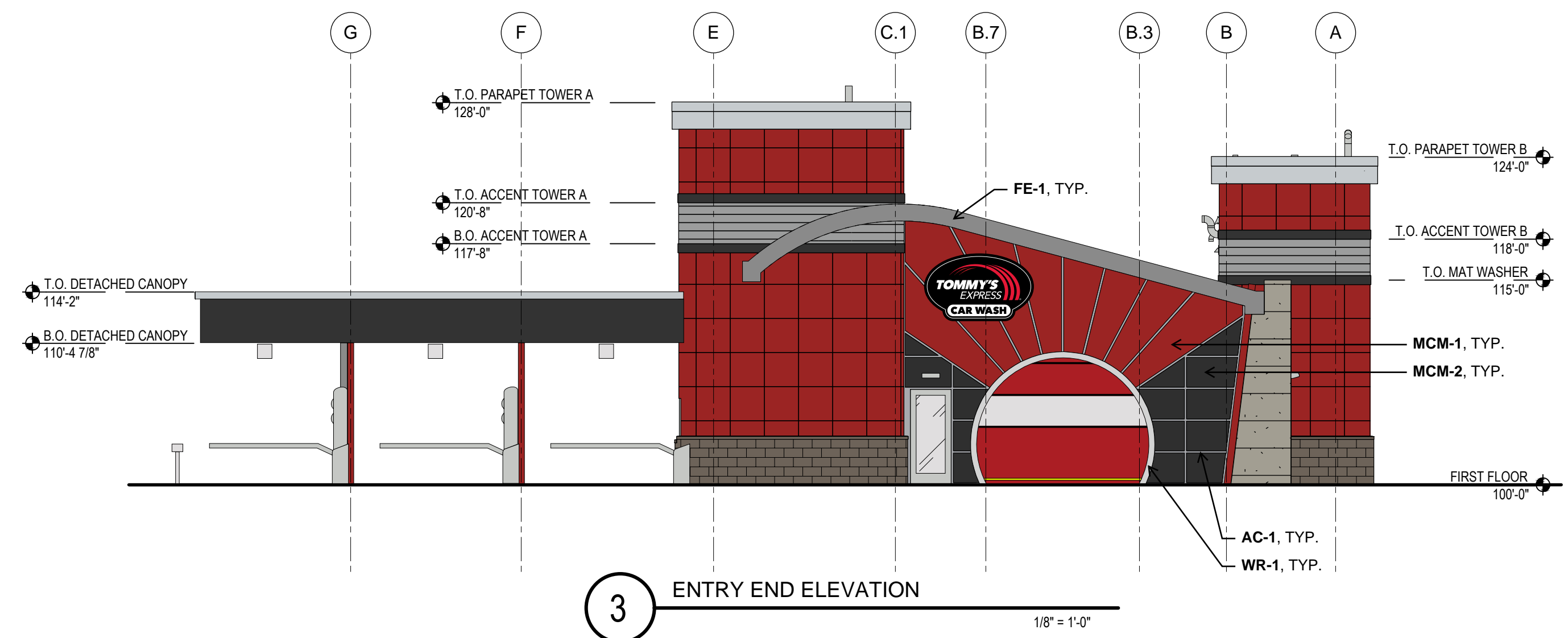
1 FRONT ELEVATION
1/8" = 1'-0"



5 TYPICAL VACUUM ELEVATION
NOT TO SCALE

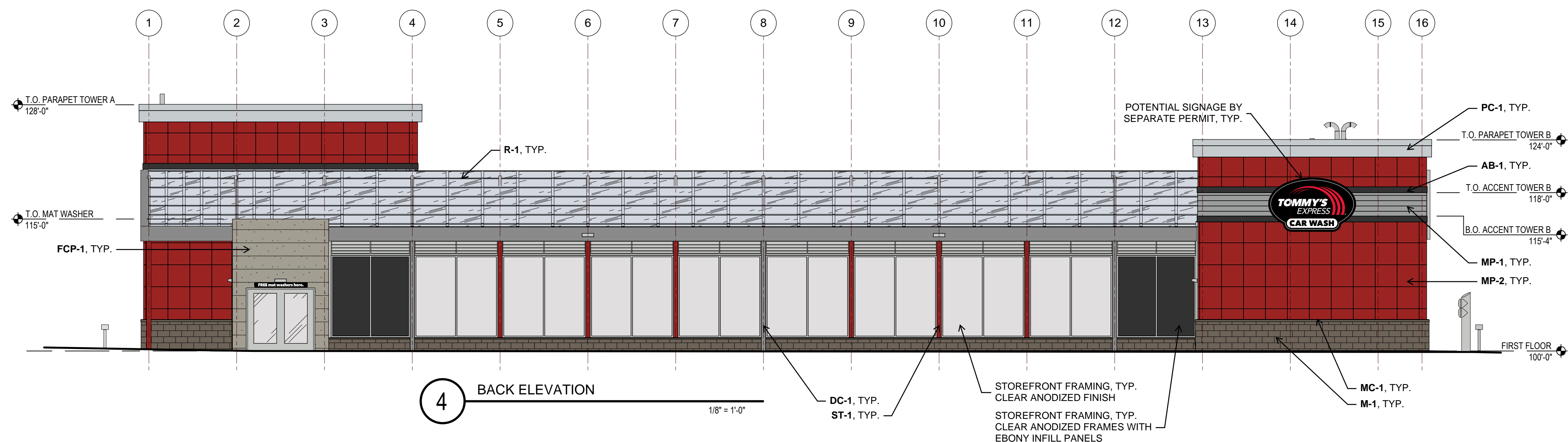


2 EXIT END ELEVATION
1/8" = 1'-0"



3 ENTRY END ELEVATION
1/8" = 1'-0"

TAG	MATERIAL	MFR.	DESCRIPTION	MFR. COLOR
ST-1	STRUCTURAL STEEL	PROSPIANT	5-STAGE POWDER COATED	RAL 3001
MP-1	PREFINISHED PROFILED MCM, TOWER BANDING	ATAS	BELVEDERE 7.2" RIB PANEL	SILVERSMITH
MP-2	PREFINISHED MCM, MAIN TOWER FINISH	DRI-DESIGN	EN-V 30" X 30" PANEL	RAL 3001
M-1	CMU BLOCK	CONSUMERS	4" SPLIT FACE VENEER	ASH (MORTAR COLOR TO MATCH)
MC-1	PRECAST STONE		MASONRY CAP	TO MATCH M-1
FCP-1	FIBER CEMENT PANEL	NICHIHA	AWP1818 - ARCH. BLOCK, MODERN SERIES	GRAY
AB-1	PREFINISHED MCM, TOWER BANDING	ATAS	FLAT SHEET AND COIL	BLACK
PC-1	PREFINISHED MCM, TOWER FASCIA	ARCONIC	REYNOBOND COMPOSITE PANEL	BRIGHT SILVER METALLIC
MCM-1	PREFINISHED MCM, END WALLS	CITADEL	SINOCORE	RAL 3001
MCM-2	PREFINISHED MCM, END WALLS	CITADEL	SINOCORE	EBONY
AC-1	PREFINISHED MCM, END WALL REVEALS	TUBELITE	200 SERIES CURTAINWALL	CLEAR ANODIZED
DC-1	PREFINISHED MCM, DOWNSPOUT COVERS	ALPOLIC	4MM PE CORE	TBX METALLIC SILVER
WR-1	PREFINISHED MCM, GARAGE DOOR WRAPS	CITADEL	ENVELOPE 2000 SYSTEM	CLEAR SATIN ANODIZED
FE-1	PREFINISHED MCM, ROOF FASCIA	ALPOLIC	4MM PE CORE	TBX METALLIC SILVER
R-1	ACRYLIC ROOF SYSTEM	ACRYLITE	HEATSTOP HIGH IMPACT MULTI-SKIN	WZO11 - COOL BLUE WHITE



4 BACK ELEVATION
1/8" = 1'-0"

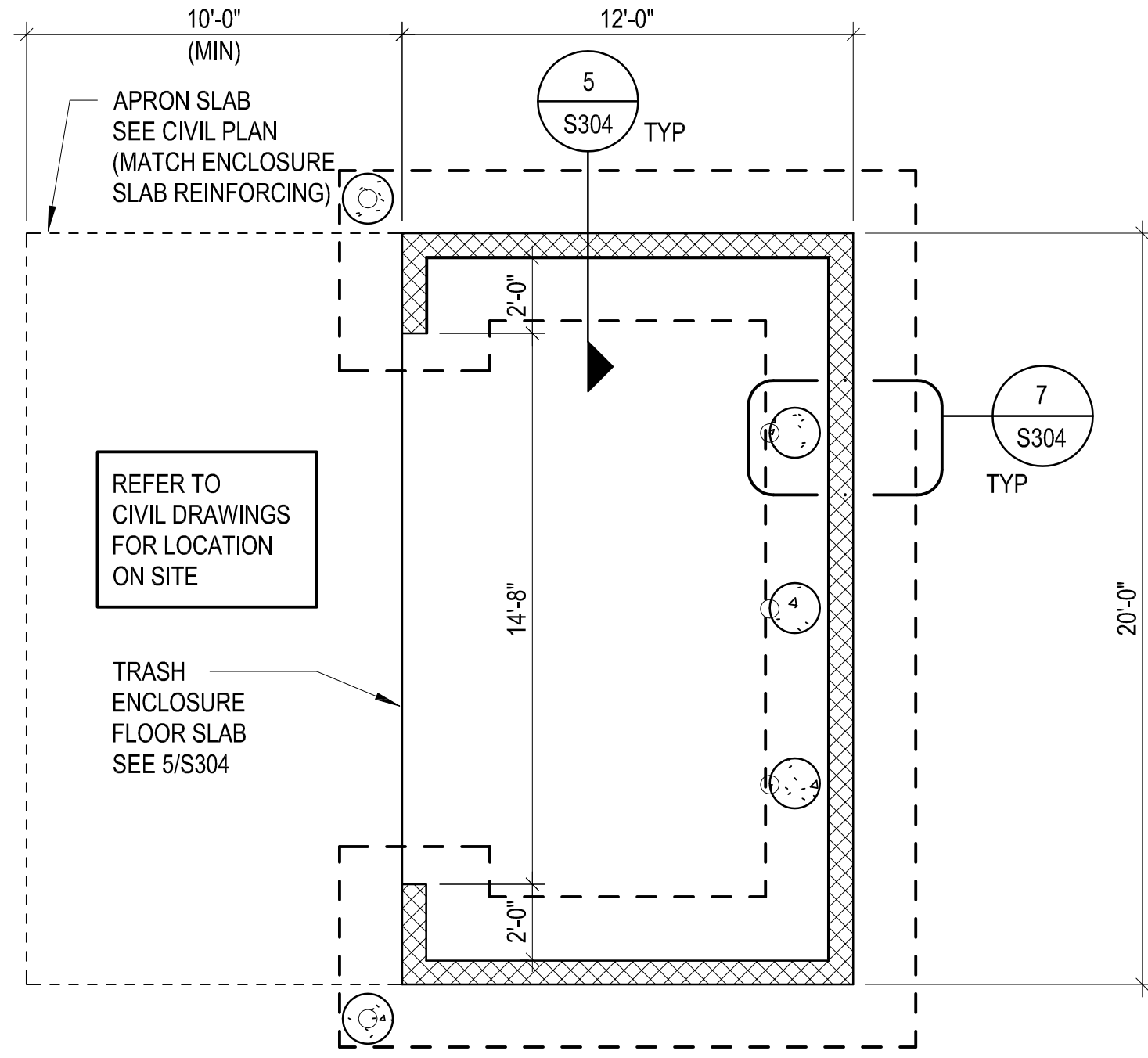
CONFIDENTIAL WARNING: THIS SHEET CONTAINS AND CONSTITUTES CONFIDENTIAL INFORMATION, IMAGES, AND TRADE SECRETS OF TOMMY CAR WASH SYSTEMS. ANY UNAUTHORIZED USE OR PORTION THEREOF IS STRICTLY PROHIBITED. THIS WORK IS THE EXCLUSIVE PROPERTY OF TOMMY CAR WASH SYSTEMS. ALL RIGHTS RESERVED.

REVISION SCHEDULE	VERSION	DATE	DESCRIPTION

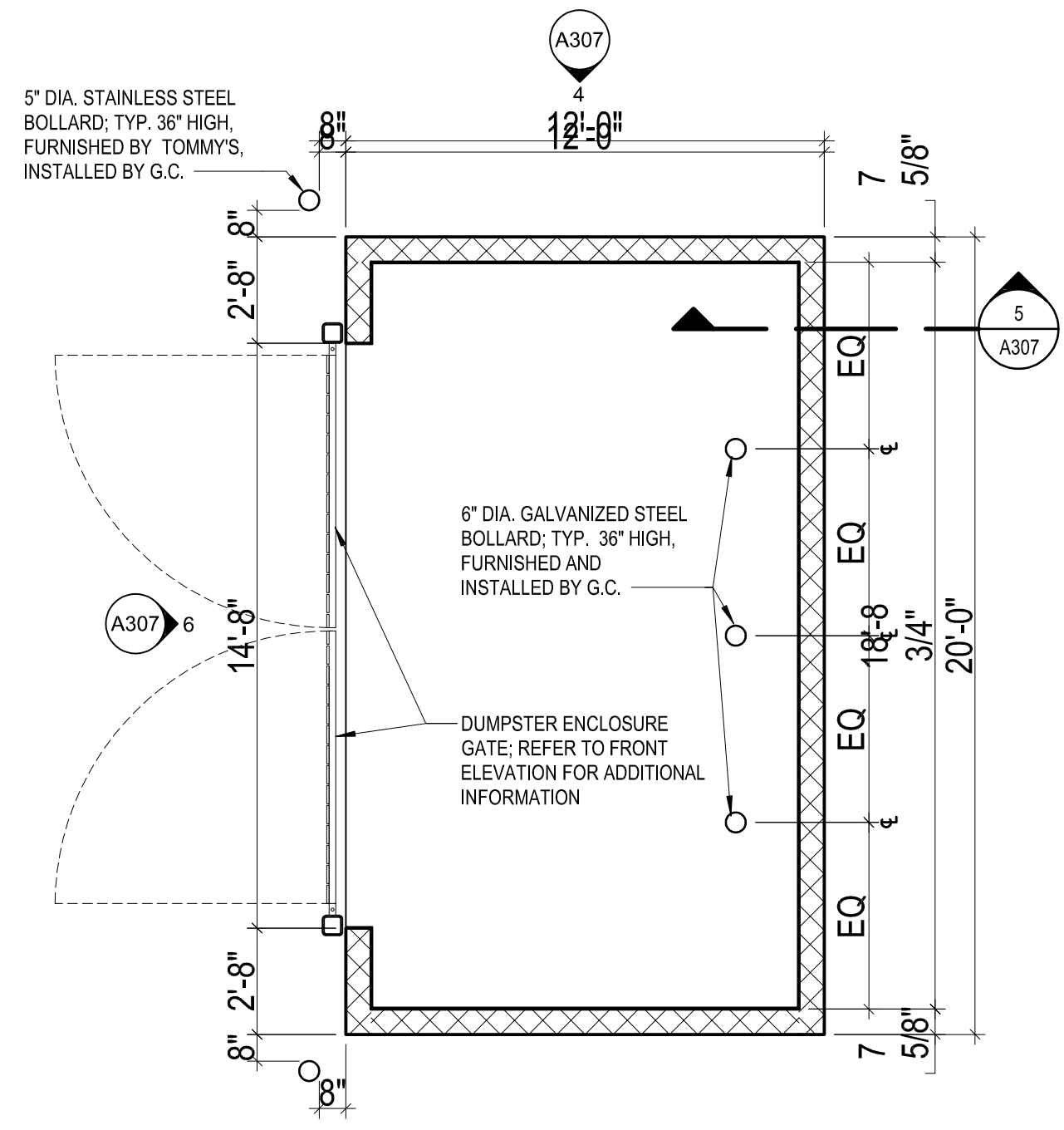


TOMMY'S EXPRESS CAR WASH EXTERIOR ELEVATIONS
P0000 CITY, STATE

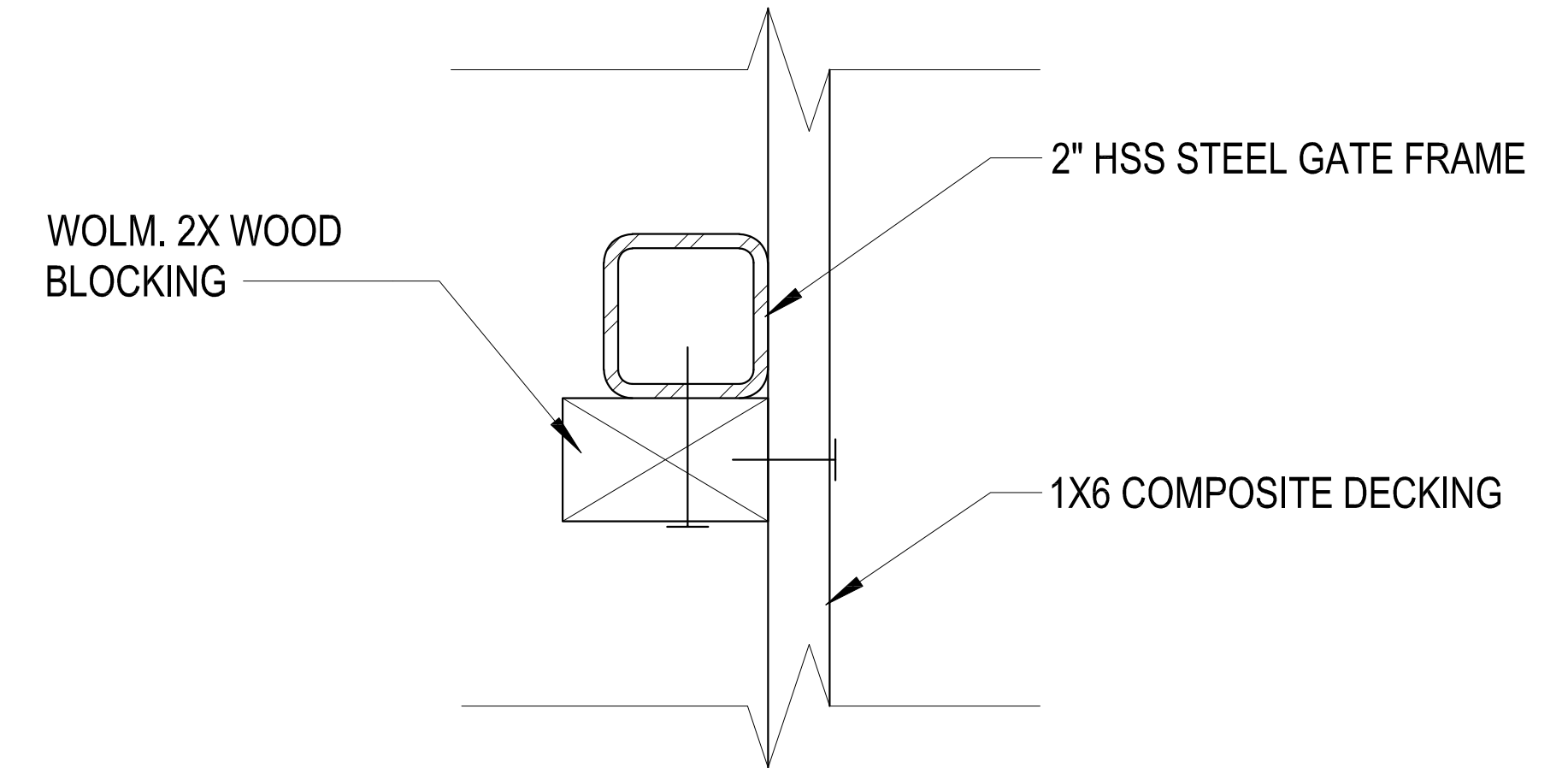
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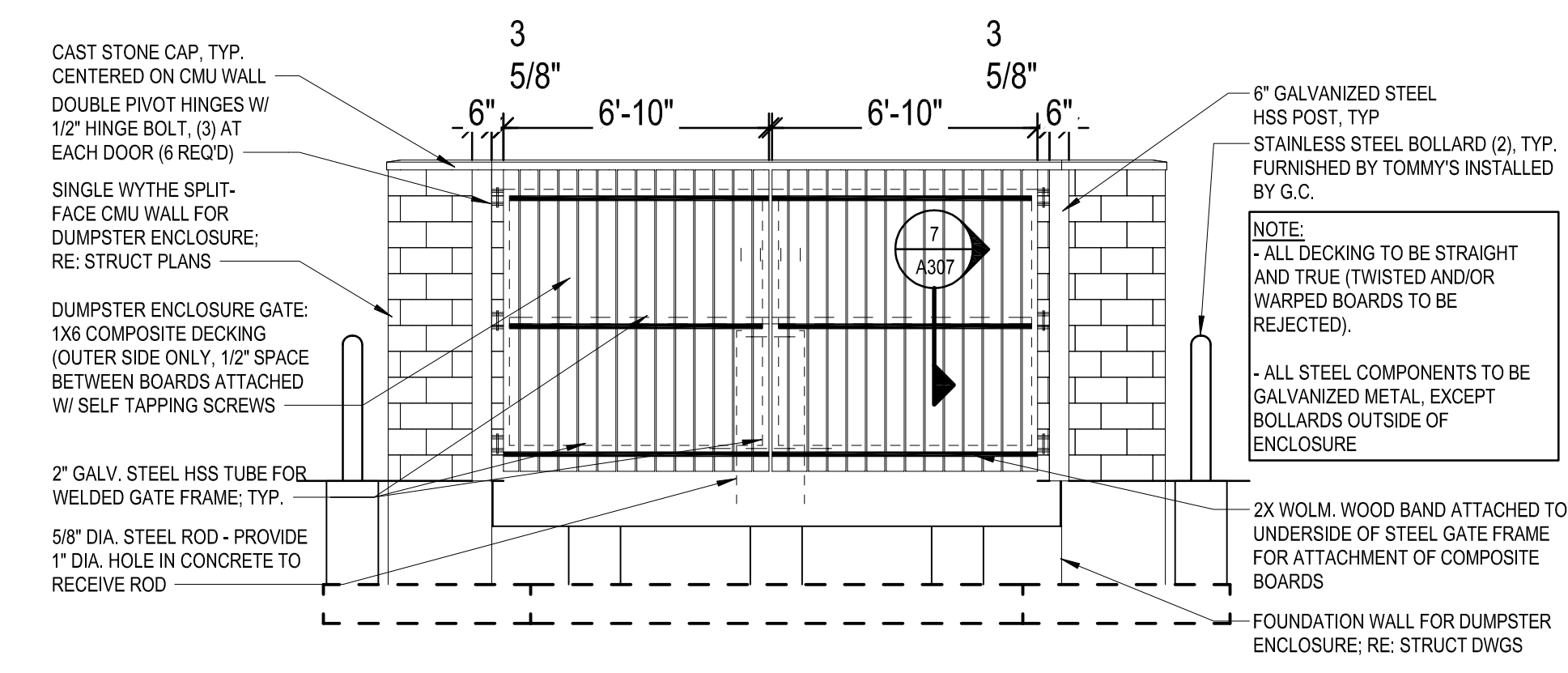
1 DUMPSTER ENCLOSURE PLAN
A307 1/4" = 1'-0"



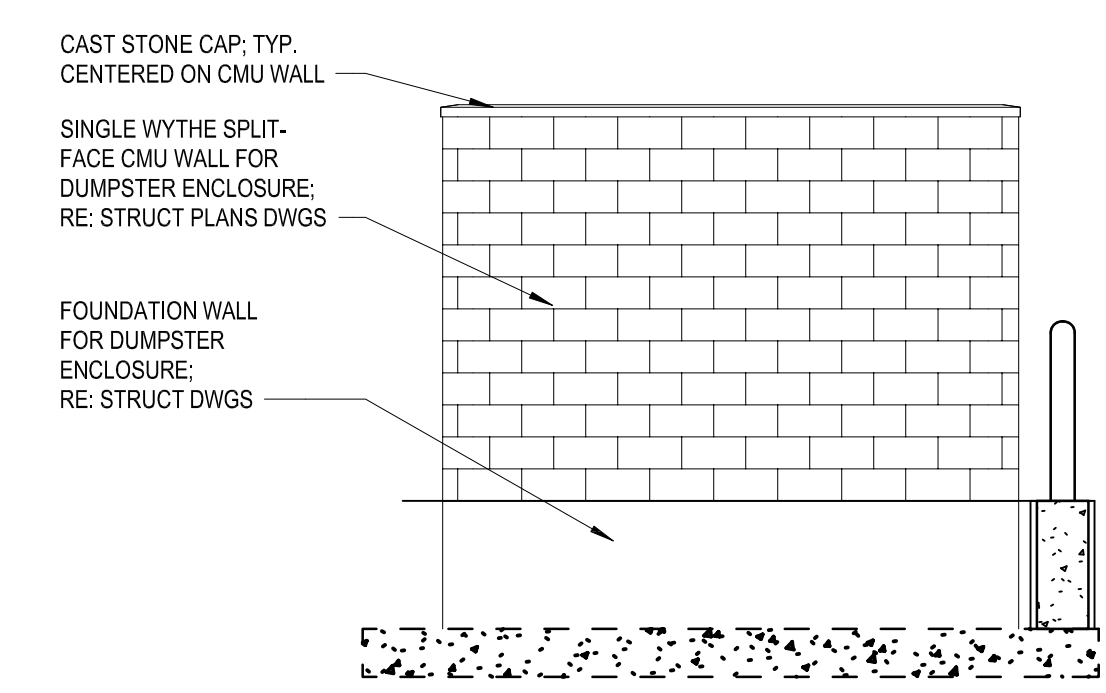
2 DUMPSTER ENCLOSURE PLAN
A307 1/4" = 1'-0"



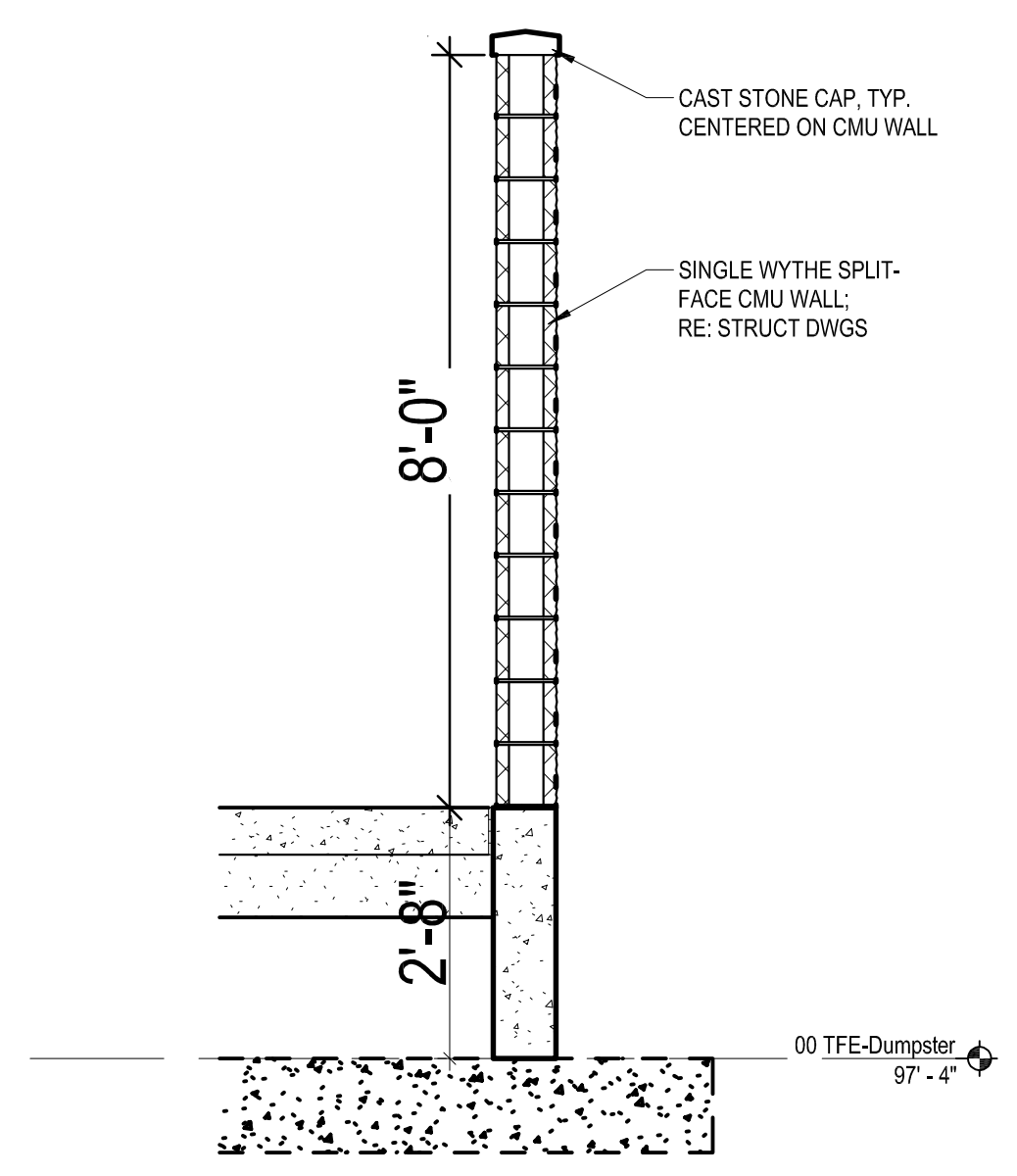
3 SECTION AT DUMPSTER FRAME
A307 6" = 1'-0"



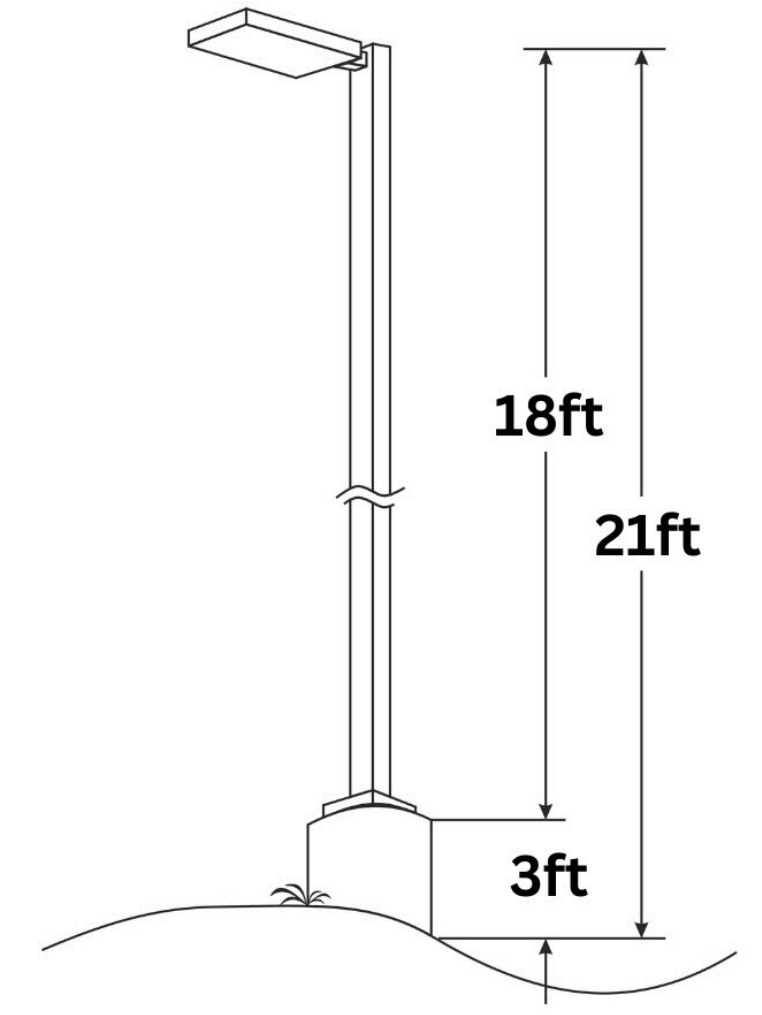
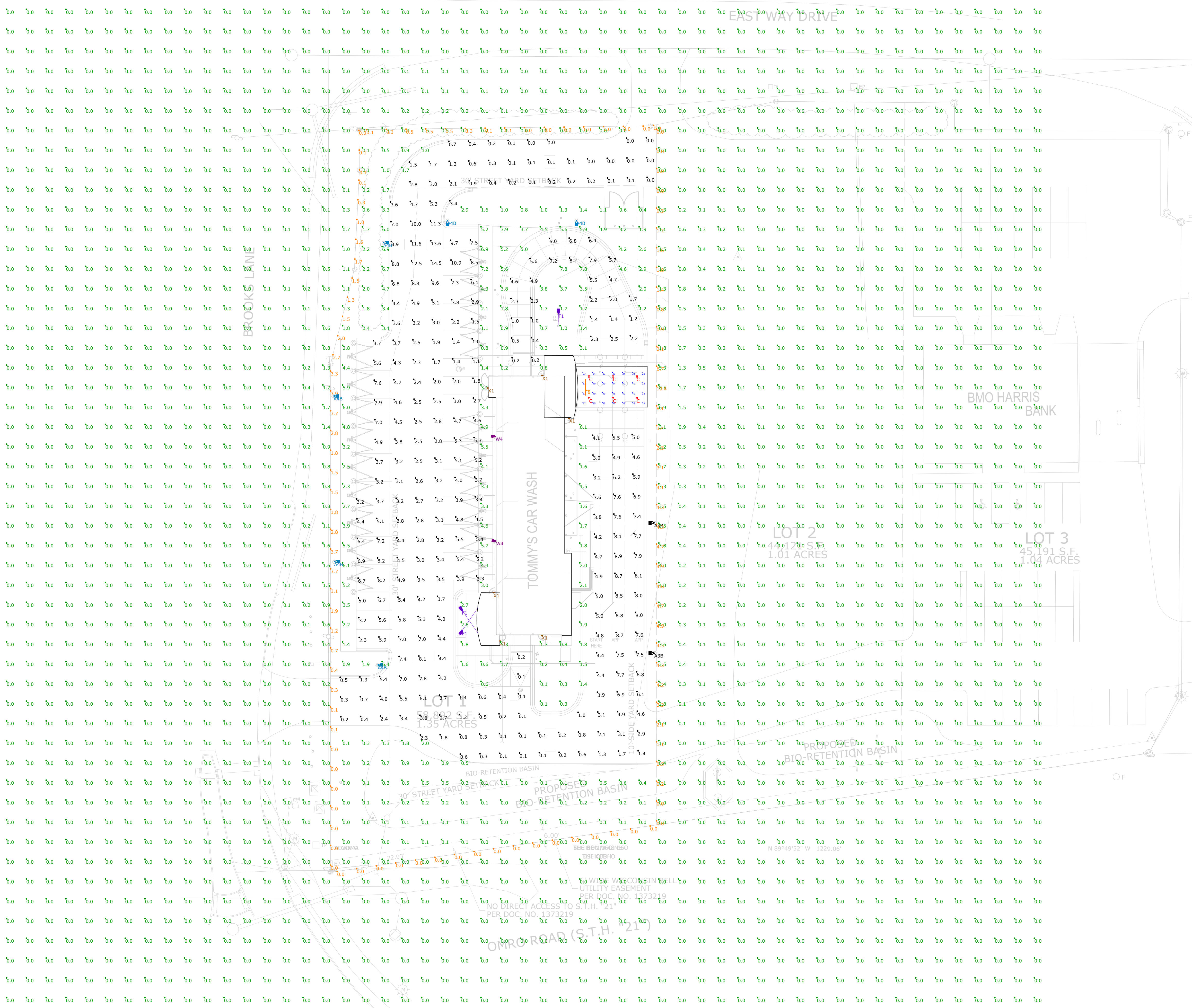
4 DUMPSTER ENCLOSURE - FRONT ELEVATION
A307 1/4" = 1'-0"



5 DUMPSTER ENCLOSURE - SIDE ELEVATION
A307 1/4" = 1'-0"



6 DUMPSTER ENCLOSURE - WALL SECTION
A307 1/2" = 1'-0"



Luminaire Location Summary				
LumNo	Label	Tilt	Z	Tag (Qty)
1	SAM-24L-U-50-T3-HSS	0	21	A3B (1)
2	SAM-24L-U-50-T3-HSS	0	21	A3B (1)
3	SAM-24L-U-50-T4-HSS	0	21	A4B (1)
4	SAM-24L-U-50-T4-HSS	0	21	A4B (1)
5	SAM-24L-U-50-T4-HSS	0	21	A4B (1)
6	SAM-24L-U-50-T4-HSS	0	21	A4B (1)
7	SAM-24L-U-50-T4-HSS	0	21	A4B (1)
8	SAM-24L-U-50-T4-HSS	0	21	A4B (1)
9	CP-9L-U-50	0	9.33	C (1)
10	CP-9L-U-50	0	9.33	C (1)
11	CP-9L-U-50	0	9.33	C (1)
12	CP-9L-U-50	0	9.33	C (1)
13	CP-9L-U-50	0	9.33	C (1)
14	CP-9L-U-50	0	9.33	C (1)
15	SAS-9L-U-50-T4	0	15	W4 (1)
17	SAS-9L-U-50-T4	0	15	W4 (1)
18	SLW-15-4K-AC	0	9	X1 (1)
19	SLW-15-4K-AC	0	9	X1 (1)
20	SLW-15-4K-AC	0	9	X1 (1)
21	SLW-15-4K-AC	0	9	X1 (1)
22	SLW-15-4K-AC	0	9	X1 (1)
23	SLW-15-4K-AC	0	9	X1 (1)
24	(2) MINIBAC475050 w/ Connectors	0	12.1	F1 (4)
25	SFS-6L-U-50-WD	162.764	1	F1 (1)
26	SFS-6L-U-50-WD	144.005	1	F1 (1)
27	SFS-6L-U-50-WD	143.096	1	F1 (1)

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED	Illuminance	Fc	3.84	14.5	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	1.44	10.4	0.0	N.A.	N.A.
UNDEFINED	Illuminance	Fc	0.19	8.5	0.0	N.A.	N.A.
UNDER CANOPY	Illuminance	Fc	35.64	45	27	1.32	1.67

Luminaire Schedule								
Symbol	Tag	Qty	Part Number	LLF	Fix. Lumens	Fix. Watts	Total Watts	BUG Rating
A3B	2		SAM-24L-U-50-T3-UMB-SLV-10YR-SP1-HSS	1.000	19411	165	330	B2-U0-G3
A4B	6		SAM-24L-U-50-T4-UMB-SLV-10YR-SP1-HSS	1.000	16764	165	990	B2-U0-G3
C	6		CP-9L-U-50-WHT-10YR-SP1	1.000	7941	68.8	412.8	B2-U3-G2
F1	3		SFS-6L-U-50-WD-SLPF-SLV-10YR-SP1	1.000	6749	135.478	406.434	B2-U0-G1
F8	1		(2) MINIBAC475050 w/ Connectors	1.000	N.A.	N.A.	71.32	N.A.
W4	2		SAS-9L-U-50-T4-WFM-SLV-10YR-SP1	1.000	9711	66.3	132.6	B1-U0-G2
X1	6		SLW-15-4K-SV-EM	1.000	1530	15.8	94.8	N.A.

Scale: 1 inch = 25 Ft.



Chad Nienhuis
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(616) 446-5175

Project Name
P3504-Oshkosh, WI-Ext

Project Address
TOMMY'S EXPRESS
2100 OMRO RD
ALGOMA, WI 54904



Tommy's Express Car Wash Site Plan Staff Review 10/4/24:

225-69 Development Standards. Refer to [Chapter 23 of the Winnebago County General Code](#) for standards for each category with exceptions for additional Town requirements as noted below:

Ingress/Egress:

[225-69 A. Driveways.](#)

(3) Exceptions; additional Town requirements.

- a. Configuration. Driveways shall ordinarily intersect with public streets as nearly as possible at right angles; provided, however, that for high-intensity uses and/or parcels with access to streets with posted speeds of 45 miles per hour or greater, a channelized "T" intersection may be required. For high-intensity uses, acceleration and deceleration lanes may also be required. **NA**
- b. Multiple frontage. Where a parcel abuts two streets, access may be limited to the street with the lowest functional classification (i.e., arterial, collector) as defined in the Algoma Comprehensive Plan: Transportation Element. **MET with addition of access driveway on East Way Drive.**
- c. Number and spacing. No parcel fronting on a public street for less than 100 feet shall ordinarily have more than one driveway access to that street. No parcel fronting on a public street for between 100 feet and 250 feet shall ordinarily have more than two driveway accesses to that street; provided, however, that the center line of the two driveways should not be closer than 50 feet for local or collector streets or closer than 75 feet for arterial streets. One additional access may be approved for each additional 250 feet subject to the center line separation of 50 feet for local or collector streets and 75 feet for arterial streets. **MET**
- d. Corner and lot line clearance. No driveway shall be constructed with its center line closer than 75 feet to a local street intersection; closer than 100 feet to a collector street intersection; or closer than 150 feet to an arterial street intersection (as measured from the right-of-way line). No driveway shall be constructed with its center line closer than 25 feet to a property line except when the driveway is jointly used by the adjoining property. **MET**
- e. Width. Minimum driveway widths of 12 feet are required for one-way driveways and minimum driveway widths of 24 feet are required for two-way driveways. Driveways shall not exceed a maximum width of 36 feet at their juncture with the street pavement or 30 feet in width at the property boundary line. **MET**
- f. Coordination with opposite side driveways and buildings. Driveways shall be located to minimize potential interference and conflicts with the use of buildings and driveways located on the opposite side of the street. **MET** *There is no East Way Drive access point for the parcel adjacent to the north of proposed project. The new driveway aligns to the east of the residential property to the north. Landscape buffering is included.*

Parking and on-site circulation:

225-69 B. Parking.

(4) Exceptions; additional Town requirements.

- a. Marking. Any off-street parking in excess of 5,000 square feet of 10 or more parking spaces shall have individual spaces marked (lined). **MET**

Cross-access easement will be created between the 3 lots to assure ease of traffic flow along the north and south ends of the properties on the drive areas shown on the site plan. Once legal documentation has been created it will be submitted to the community for appropriate review and approval.

Traffic patterns are shown on the plan via directional arrows in drive lanes.

Outdoor Storage:

225-69 C. Outside storage of equipment, products or materials. **MET**, storage will be in the building

(4) Exceptions; additional Town requirements.

- a. Separation. Outside storage shall be clearly separated from any off-street parking areas, driveways, buildings and structures by a distance of not less than 10 feet. No outside storage shall be in the front or side yard of a parcel.
- b. Visibility. No outside storage shall be permitted unless such storage is visually screened from view of any private property owner or roadway, with a suitable solid masonry or wood fence at least six feet in height. Screening shall be well maintained.
- c. Safety. Such storage area shall be located and arranged so as to not impair the convenience and safety of vehicular or pedestrian travel. No equipment, products or materials shall be piled or stacked to a height exceeding the principal building.
- d. Surface. In commercial, industrial or multifamily zoned land all outside storage areas shall be surfaced with a hard surface and in industrial areas (as an option) gravel material would be allowed. The surface of outdoor storage areas should be maintained in a smooth, well-graded condition.

225-69 E. Outside storage of waste and trash.

- a. General requirement. Storage of waste or trash shall be kept in an enclosure as described in this section.
- b. Construction standards. An enclosure shall consist of a masonry or solid wooden fence at least six feet in height, with a door having a one-foot vertical clearance at the bottom and a feature that allows doors to be latched in the open position. The floor of a screened enclosure should be at the same level as the lot and be hard surfaced. **MET dumpster specifications provided (see attached)**
- c. Location. An enclosure should be located at the rear of the building and easily accessible for refuse pickup. **MET**

Landscaping:

[225-69 D. Landscaping.](#)(3) Exceptions; additional Town requirements. **MET**

- a. Not less than 15% of the total parcel or lot area shall be devoted to landscaped areas.
- b. Additional landscaping requirements as determined necessary by the Town Administrator and approved by the Planning Commission and Town Board, including but not limited to the following:
 1. Perimeter landscaping.
 2. Screening and buffering.
 3. Sides of buildings.
 4. Parking lots.
 5. Heavy equipment and machinery areas.
 6. Plant type and size.
 7. Materials.

Surface and subsurface drainage (consistent with Ch 23, Art. 15 of Winnebago County General Code):

[225-69 F. Drainage.](#)

1. Drainage requirements. Any parcel developed or redeveloped shall require submittal of drainage impact calculations and appropriate drainage improvements according to the requirements set forth in this Code and Chapter 23, Article 15, of the Winnebago County General Code. **MET**
2. Existing drainage. Existing watercourses and drainage patterns shall be maintained. No obstructions, such as plantings, structures, fences, riprap and the like shall be allowed within any existing watercourses or developed drainageways. **MET**

Architectural features and the specific location and orientation of buildings and structures:

[225-69 G. Outdoor lighting.](#)

No exterior lighting, whether freestanding or mounted on a building or structure, shall be reflected or produce unreasonable glare beyond the parcel boundaries. All exterior lighting fixtures, either wall mounted or freestanding, shall be identified on the face of the site plan and shall state the dispersion pattern, intensity of light, and cut-off shielding that reflects light downward and in which the light source is not visible from adjacent properties. There will be zero light dispersion at the lot line. **MET, photometric plans included**

Signage:

[225-69 H. Signs.](#)

(3) Exceptions; additional Town requirements.

- a. Setbacks. No sign shall be located within 10 feet of any side or rear lot line. All signs shall comply with zero light dispersion at the lot line as documented by a photometric plan. **MET, sign locations shown on site plan**

Standard Tommy's signage package included in attachments. Specific signage details for this site will be submitted for approval to the County accordingly to meet community requirements.

225-70 Application:

1. Name, address and telephone number of petitioner and property owner (if not the same); **MET**
2. Name of project, if any, and the address and legal description of the proposed development or redevelopment; **MET**
3. A statement describing the proposed development or redevelopment; **MET**
4. The zoning classification of the parcel; **MET**
5. Tabulations of total gross acreage and square feet of the parcel; **MET**
6. Tabulations of total gross floor area and the percentage thereof proposed to be devoted to various uses; **MET**
7. Tabulation of the number of employees, as applicable or the number of dwelling units as applicable; **MET** *The car wash requires 3 people to operate and the average number of employees hired for a Tommy's Car Wash is 16 (full and part time)*
8. Tabulation of the number of parking and loading spaces; **MET**
9. Tabulation of the impervious surface area and drainage calculations where applicable; **MET**
10. Tabulation of required landscaping area; and **MET** *19,154 sf or 33% of the site.*
11. Traffic count projections to and from the site. **MET** *average should be about 500 cars daily during the operation hours of 7am to 9pm.*

Site plan.

General requirements. A site plan shall be prepared at a scale so as to clearly depict the required information. Site plan scales determined to be inadequate will be rejected.

Required information. A site plan shall contain the following elements:

1. Location map, which must be legible to identify the location within the Town; **MET**
2. Names of adjacent or surrounding streets; **MET**
3. A survey of the property, drawn to scale of sufficient size, to show boundaries (lot lines) of the parcel, with dimensions; **MET**
4. The location and dimensions of all buildings and structures; **MET** *Elevations of the standard Tommy's Express Car Wash 130' Tunnel building to be incorporated into final architectural drawings*
5. Dimensions of all yards; **MET**
6. The location of all parking and loading areas; **MET**
7. The location and dimensions of driveway access points; The existing driveway on Brooks Lane being used will be widened to 25 feet (from 22 feet). **MET**
8. Distances between driveways and any lot lines or intersections; **MET**

9. Internal traffic patterns; **MET** per #6 and #9 of 10/2/24 response
10. The location and dimensions of all perimeter and interior landscaped areas and the nature of the landscaping treatment and materials; **MET**
11. The location of all existing and proposed public and private easements and the location of all utilities and utility connections; **MET**
12. The direction and flow of surface drainage and the location and nature of drainage improvements; **MET**
13. The location and nature of signs and lighting, including a light dispersion pattern for each; and **MET**
14. Other information necessary or required to show compliance with the review criteria of this article or the Winnebago County Zoning Ordinance.